

SITE DEVELOPMENT PLANS
FOR
COMMERCIAL SPACE
POOLER, CHATHAM COUNTY, GEORGIA

Prepared for
COMBAT VETERANS, LLC

PROJECT DATA

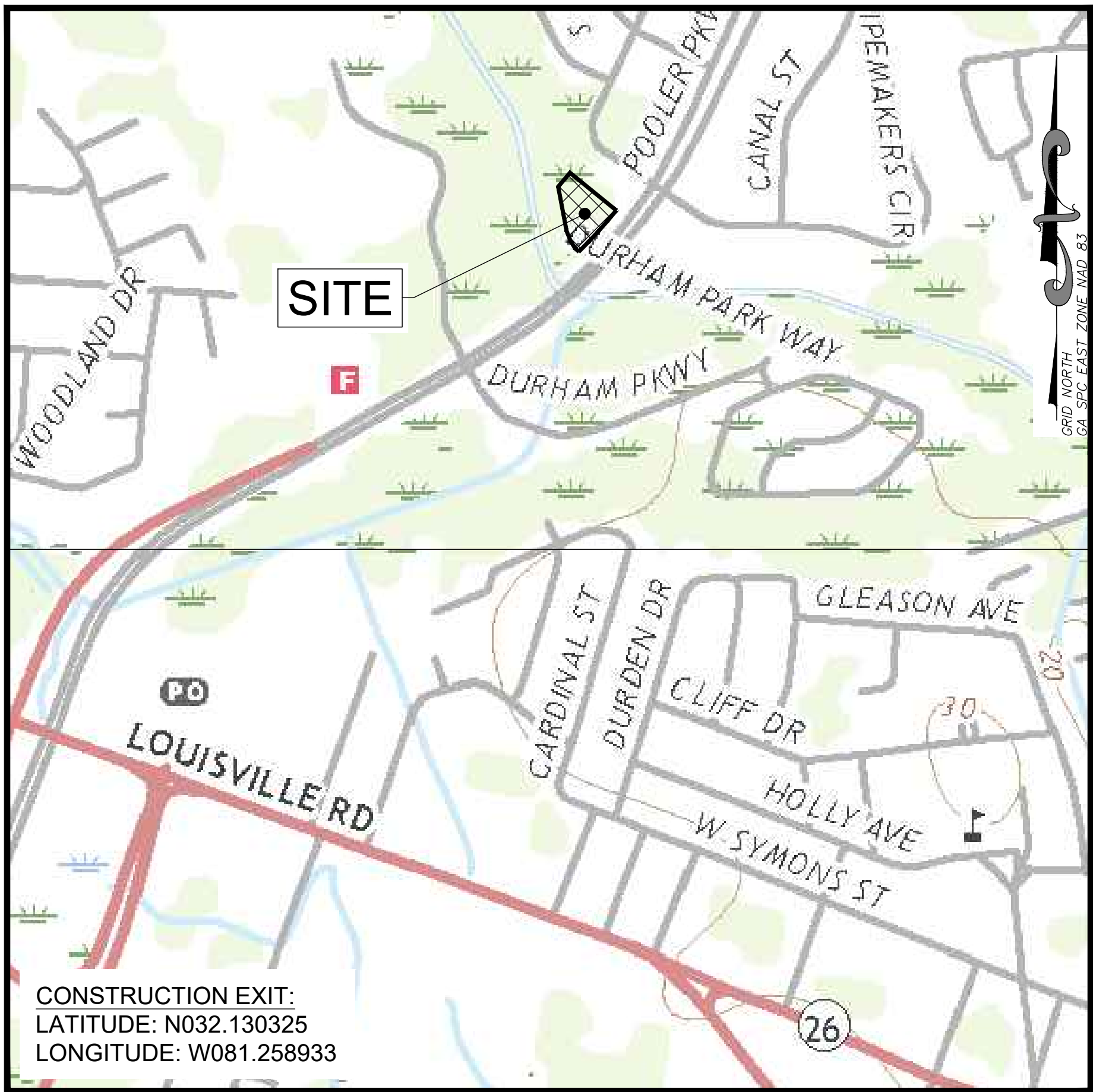
OWNER/DEVELOPER:	COMBAT VETERANS, LLC 107 GODLEY WAY POOLER, GEORGIA, 31322
24HR CONTACT:	ALEC B. METZGER (912) 644-3223
TAX MAP & PARCEL NUMBER:	50017A01040
PARCEL AREA:	1.62 AC
ZONING CLASSIFICATION:	PUD - PLANNED UNIT DEVELOPMENT
PROPOSED USE:	COMMERCIAL / RETAIL
IMPERVIOUS AREA:	0.81 AC
DISTURBED AREA:	1.42 AC
TOTAL BUILDING AREA:	14,843 SF
PARKING SPACES REQUIRED:	54
PARKING SPACES PROVIDED:	58

THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

SIGNATURE:

THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

SIGNATURE:



VICINITY MAP
NOT TO SCALE

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UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

REVISION	DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER - INITIAL SUBMITTAL DATE 7/1/2021 - REVISIONS RECIEVED 7/21/2021	9/1/2021
2	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 9/1/2021 - REVISIONS RECIEVED 10/6/2021	10/26/2021
3	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 10/26/2021 - REVISIONS RECIEVED 11/4/2021	11/1/2021
4	REVISIONS PER CITY OF POOLER - FINAL COMMENTS	8/1/2023
5	OWNER REVISIONS	1/24/25
-	-	-
-	-	-

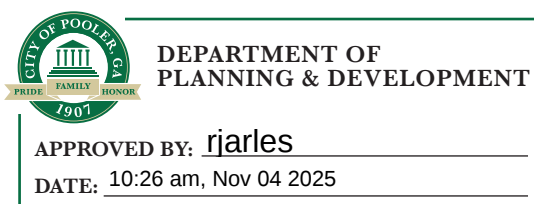


PROJECT LOCATION:
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA
EMC PROJECT# 20-0130

JULY 2023 REVISED JANUARY 2025

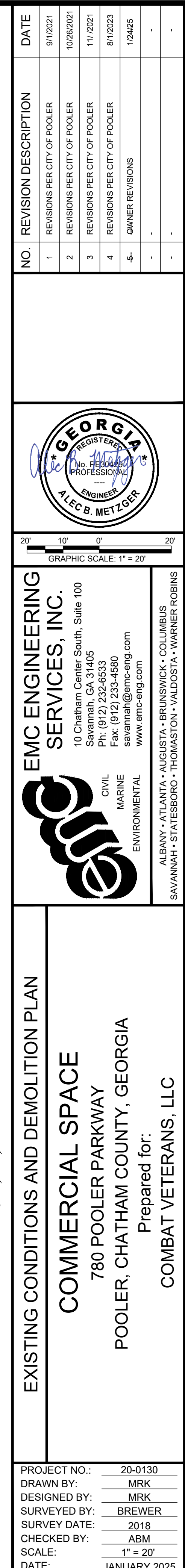


EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL- MARINE - CIVIL - SURVEY



EMC ENGINEERING SERVICES, INC.
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NOTES:

- ALL LINEAR AND RADIAL DIMENSIONS ARE TO THE EDGE OF PAVEMENT.
- MONUMENT SIGNS SHOULD NOT DISPLACE REQUIRED LANDSCAPING.
- SCREEN DUMPSTER AND RECYCLING BINS WITH MASONRY WALL TO MATCH THE BUILDING / OPAQUE METAL GATES AND EVERGREEN PLANTINGS.
- THIS PARCEL LIES WITHIN A ZONE AE (EL. 19) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 13051C0019H EFFECTIVE DATE JULY , 2014.
- NO STATE WATERS EXIST ON SITE WITH WRESTED VEGETATION ARE PRESENT ON SITE.
- NO WETLANDS PRESENT ON SITE.

SITE DATA:

PARCEL: 1.62 AC.
ZONING: PUD
FRONT BUILDING SETBACK: 50'
SIDE BUILDING SETBACK: 25'
REAR BUILDING SETBACK: 25'

GREENSPACE REQUIREMENTS:

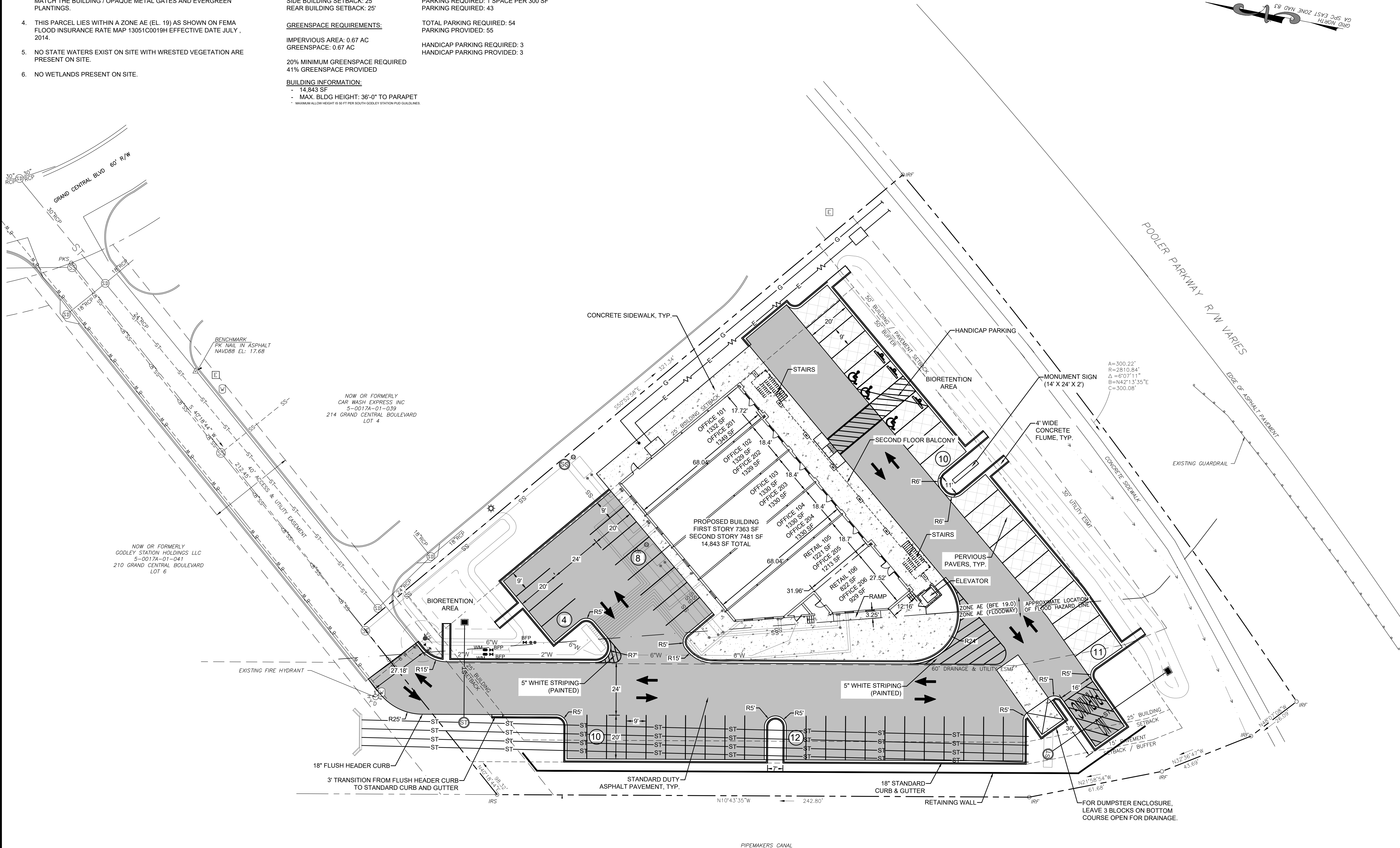
IMPERVIOUS AREA: 0.67 AC
GREENSPACE: 0.67 AC
20% MINIMUM GREENSPACE REQUIRED
41% GREENSPACE PROVIDED

BUILDING INFORMATION:

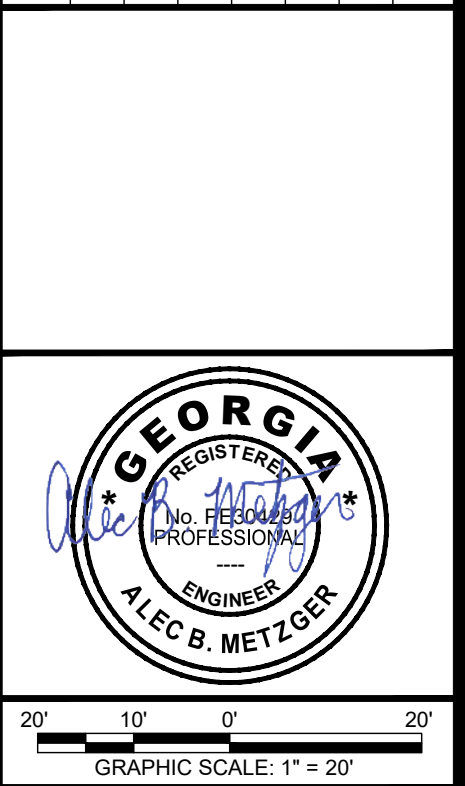
- 14,843 SF
- MAX. BLDG HEIGHT: 36'-0" TO PARAPET
- MAXIMUM ALLOW HEIGHT IS 50 FT PER SOUTH GOSLEY STATION PUD GUIDELINES.

PARKING DATA:

RETAIL STORES: 2,043 SF
PARKING REQUIRED: 5 SPACES PER 1,000 SF (SHOPPING CENTER)
PARKING REQUIRED: 11
OFFICES: 12,801 SF
PARKING REQUIRED: 1 SPACE PER 300 SF
PARKING REQUIRED: 43
TOTAL PARKING REQUIRED: 54
PARKING PROVIDED: 55
HANDICAP PARKING REQUIRED: 3
HANDICAP PARKING PROVIDED: 3



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CIVIL MARINE ENVIRONMENTAL

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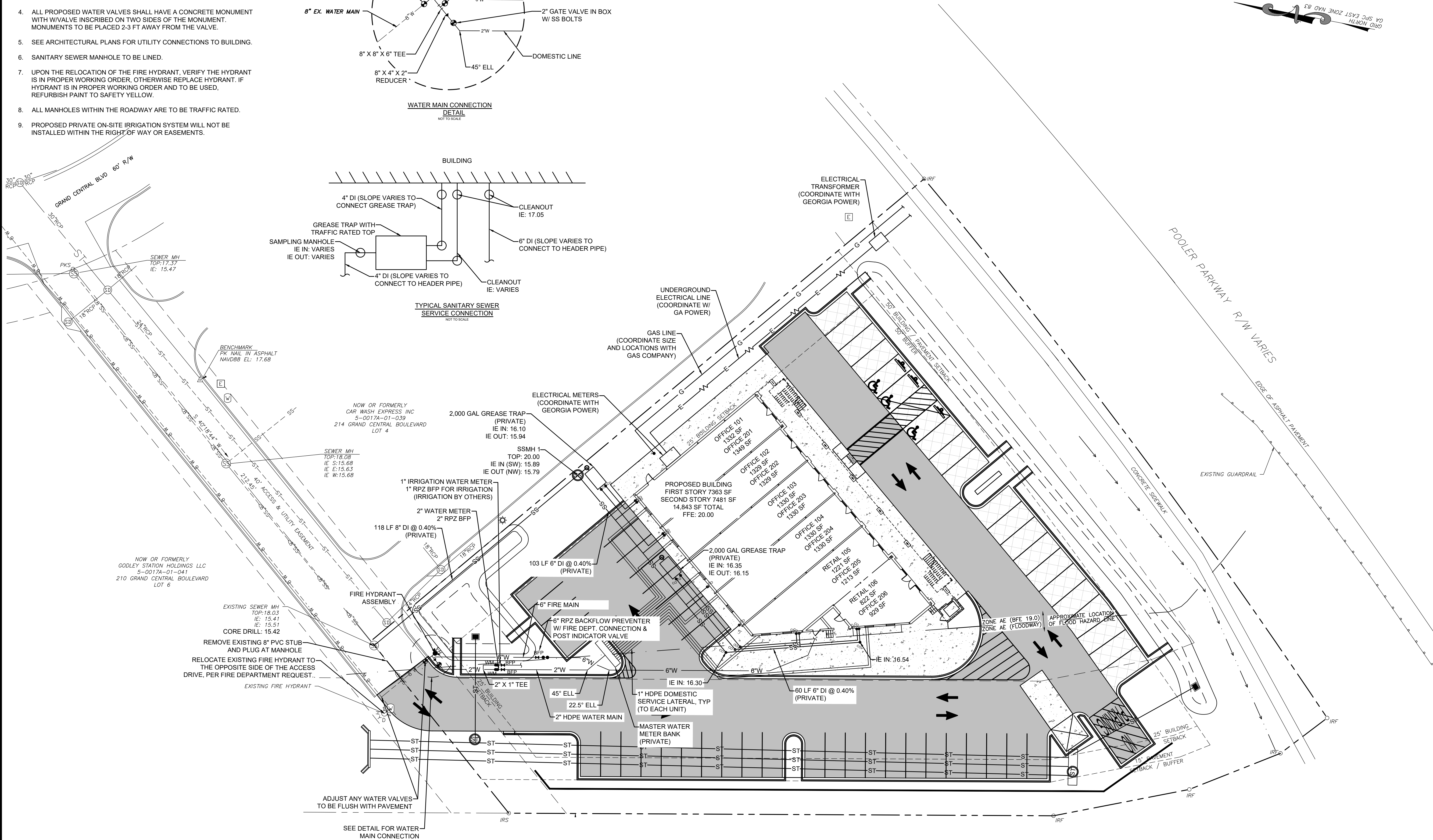
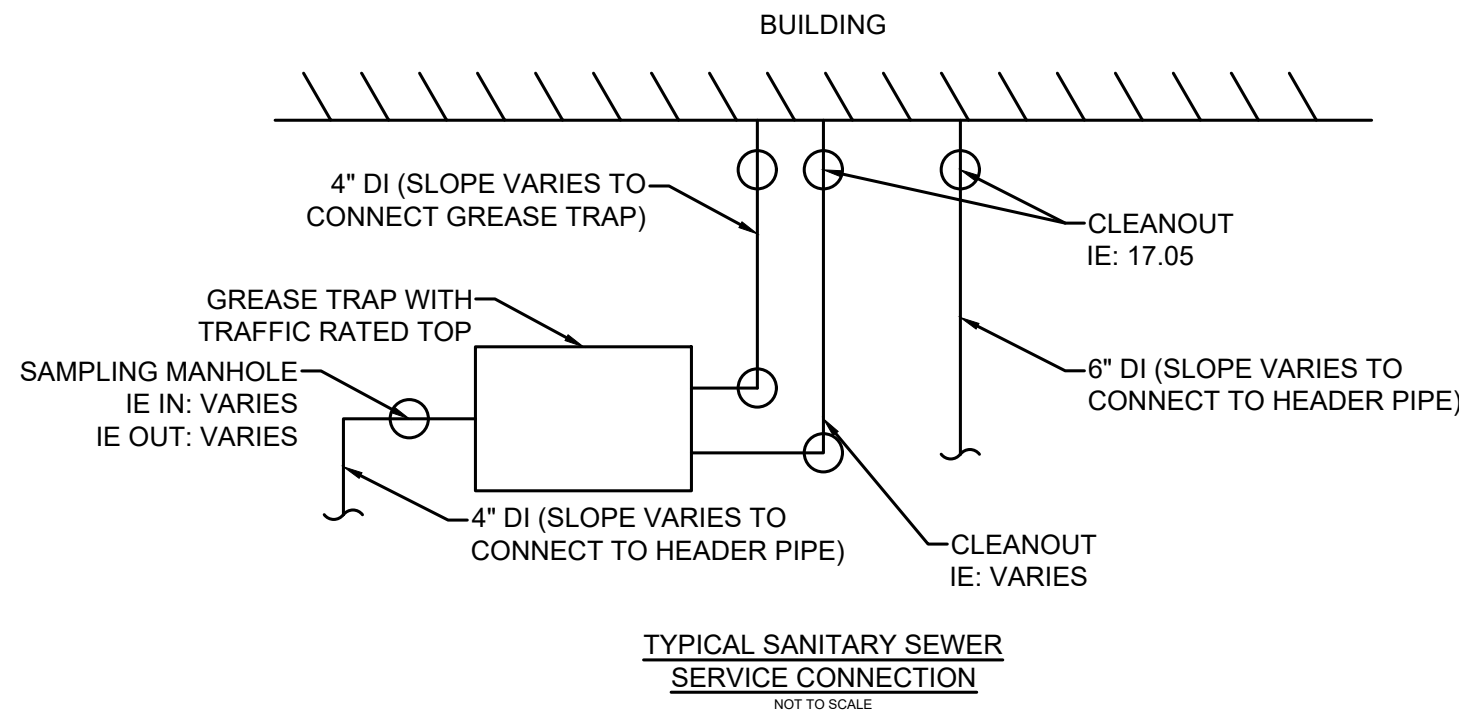
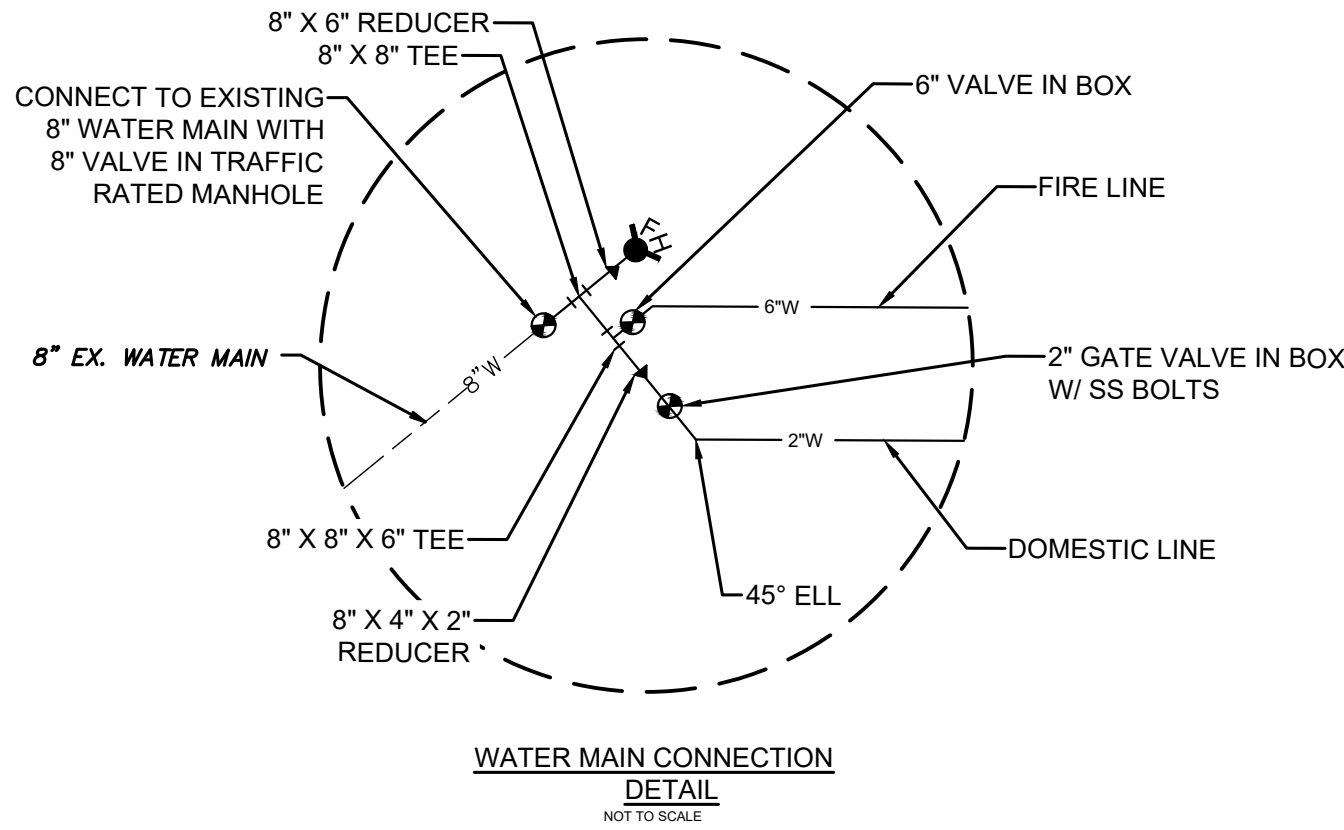
STAKING PLAN

COMMERCIAL SPACE
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.:	20-0130
DRAWN BY:	MRK
DESIGNED BY:	MRK
SURVEYED BY:	BREWER
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	JANUARY 2025

- NOTES:
1. REFER TO GENERAL NOTES & LEGEND (SHEET 2) FOR UTILITY PIPE MATERIAL INFORMATION.
 2. MOVE ALL MANHOLES OUT OF SIDEWALK.
 3. ALL WATER AND SEWER LINES LOCATED WITHIN THE PROPERTY WILL BE PRIVATELY MAINTAINED. THE ON-SITE GREASE TRAPS WILL BE PRIVATELY OWNED AND MAINTAINED.
 4. ALL PROPOSED WATER VALVES SHALL HAVE A CONCRETE MONUMENT WITH W/VALVE INSCRIBED ON TWO SIDES OF THE MONUMENT. MONUMENTS TO BE PLACED 2-3 FT AWAY FROM THE VALVE.
 5. SEE ARCHITECTURAL PLANS FOR UTILITY CONNECTIONS TO BUILDING.
 6. SANITARY SEWER MANHOLE TO BE LINED.
 7. UPON THE RELOCATION OF THE FIRE HYDRANT, VERIFY THE HYDRANT IS IN PROPER WORKING ORDER, OTHERWISE REPLACE HYDRANT. IF HYDRANT IS IN PROPER WORKING ORDER AND TO BE USED, REFURBISH PAINT TO SAFETY YELLOW.
 8. ALL MANHOLES WITHIN THE ROADWAY ARE TO BE TRAFFIC RATED.
 9. PROPOSED PRIVATE ON-SITE IRRIGATION SYSTEM WILL NOT BE INSTALLED WITHIN THE RIGHT OF WAY OR EASEMENTS.



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5	OWNER REVISIONS	1/24/25

GRAPHIC SCALE: 1" = 20'

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CIVIL MARINE ENVIRONMENTAL

UTILITY PLAN

COMMERICAL SPACE
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.: 20-0130
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SHEET
5

OF 19

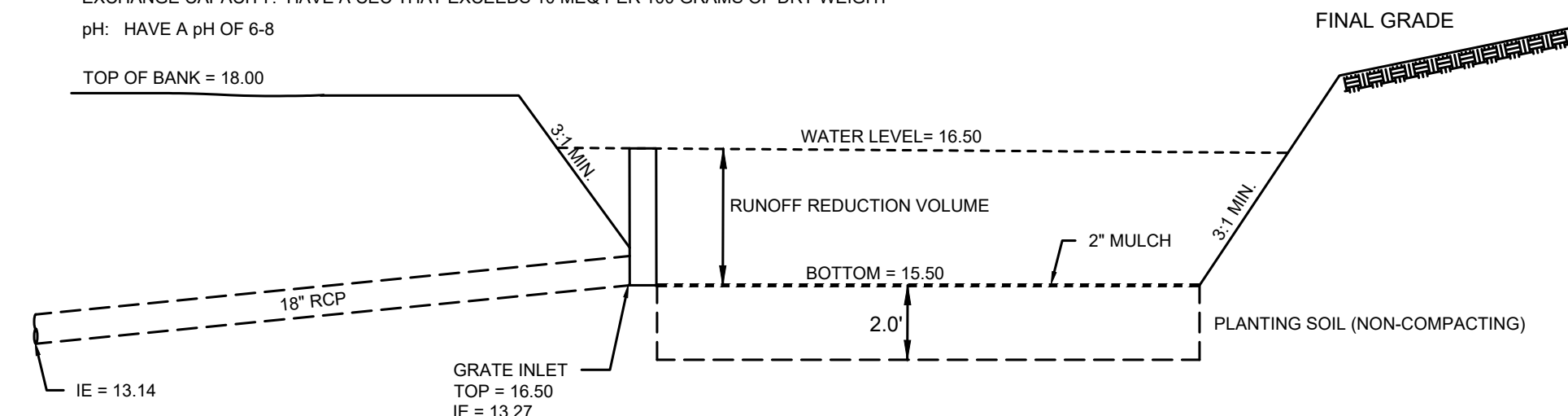
C:\2025\20-0130-780 POOLER PARKWAY\DWG\20-0130-501 TWO STORY 8-2025.DWG 9/10/2025 12:01 PM

TEXTURE: SANDY LOAM OR LOAMY SAND
SAND CONTENT: CONTAIN 85%-88% CLEAN, WASHED SAND
TOPSOIL CONTENT: CONTAIN 8% - 12% TOPSOIL
ORGANIC MATTER CONTENT: CONTAIN 3% - 5% ORGANIC MATTER
INFILTRATION RATE: HAVE A RATE OF AT LEAST 0.25 IN/HR
PHOSPHOROUS INDEX: HAVE A P-INDEX OF LESS THAN 30
EXCHANGE CAPACITY: HAVE A CEC THAT EXCEEDS 10 MEQ PER 100 GRAMS OF DRY WEIGHT
pH: HAVE A pH OF 6-8

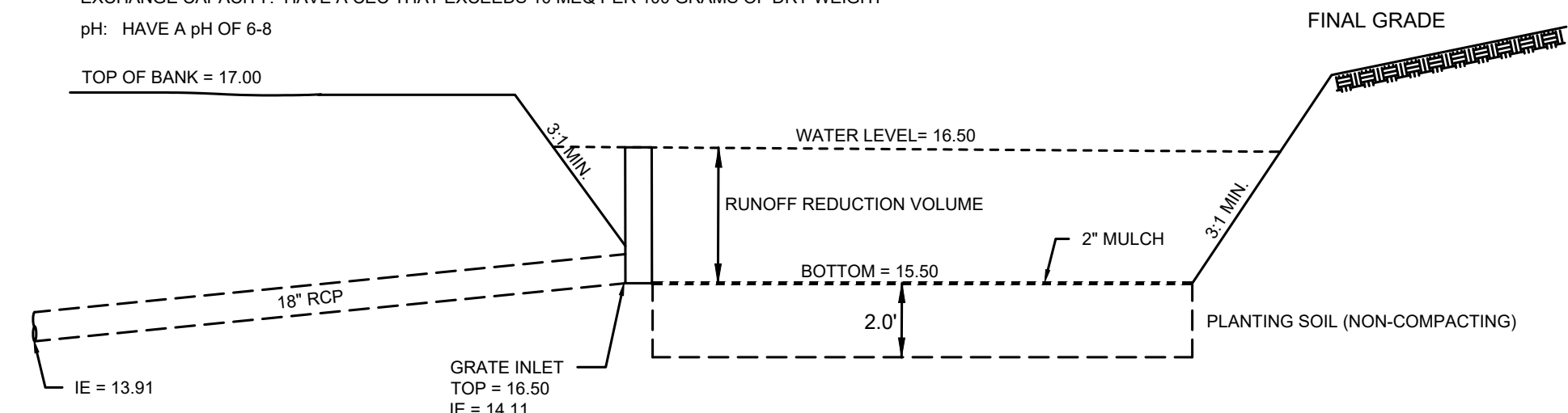
SPECIAL NOTE:
REFER TO LANDSCAPE PLAN FOR SPECIFIC PLANTINGS

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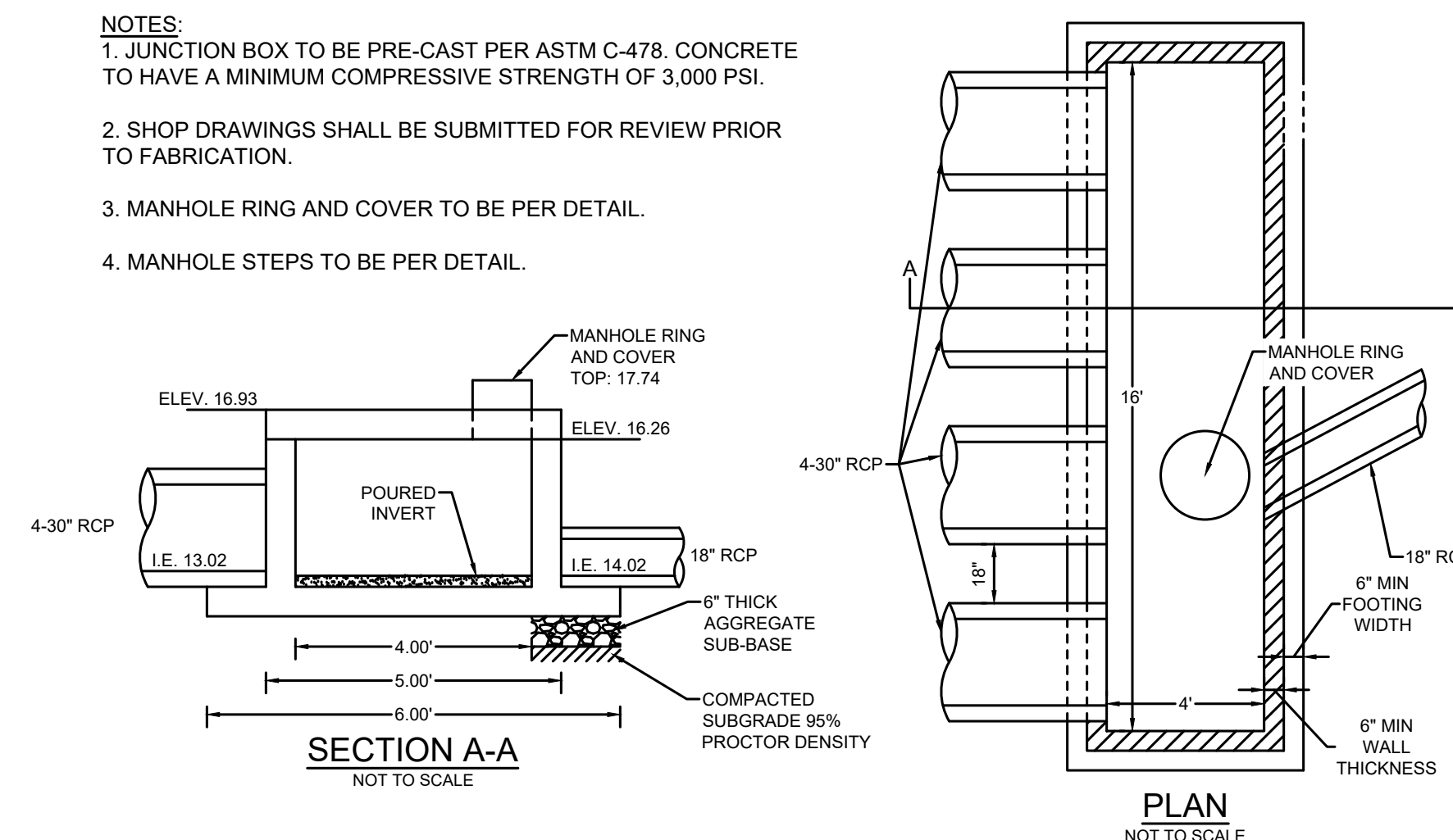


BIO-RETENTION AREA 01 CROSS SECTION
NOT TO SCALE



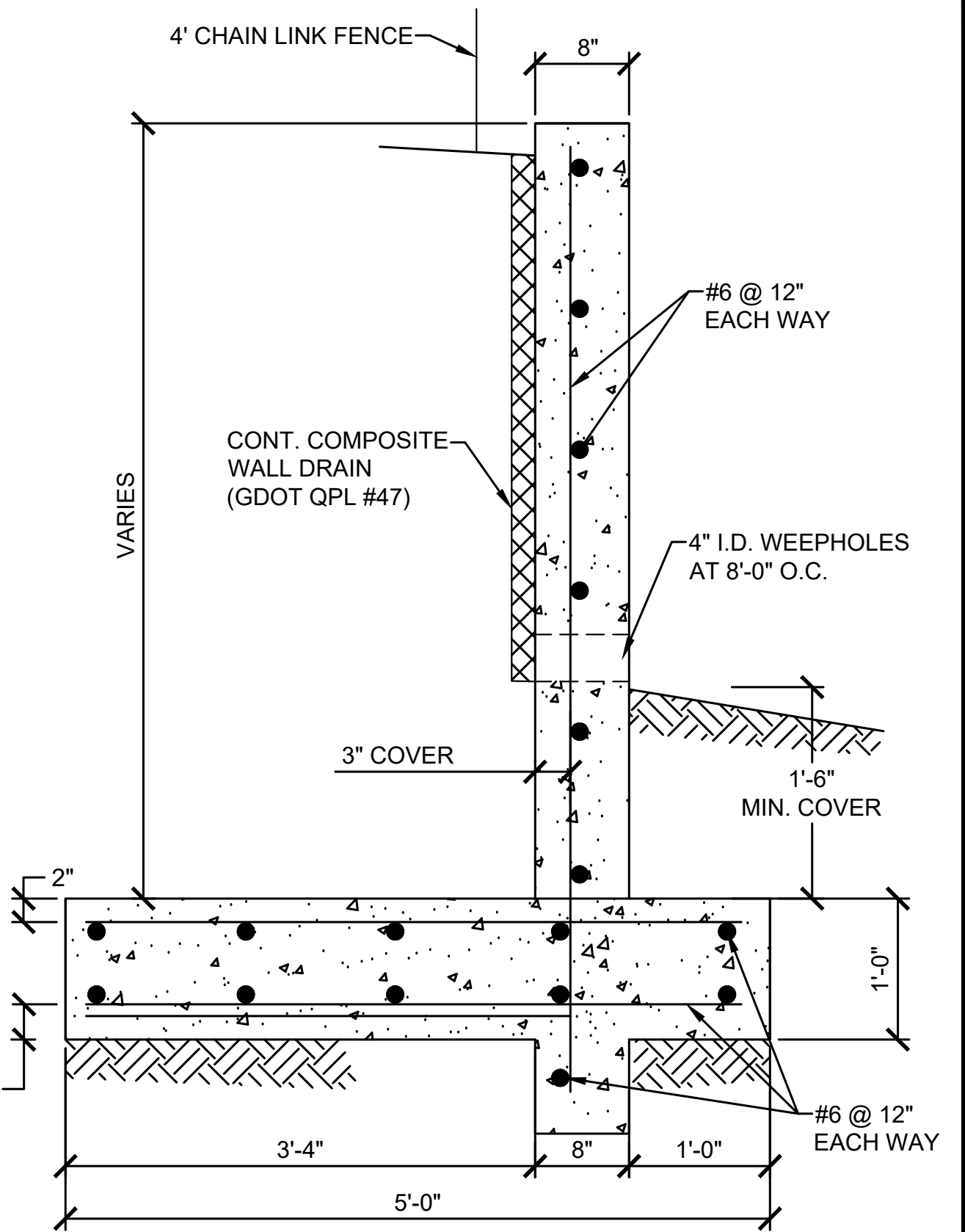
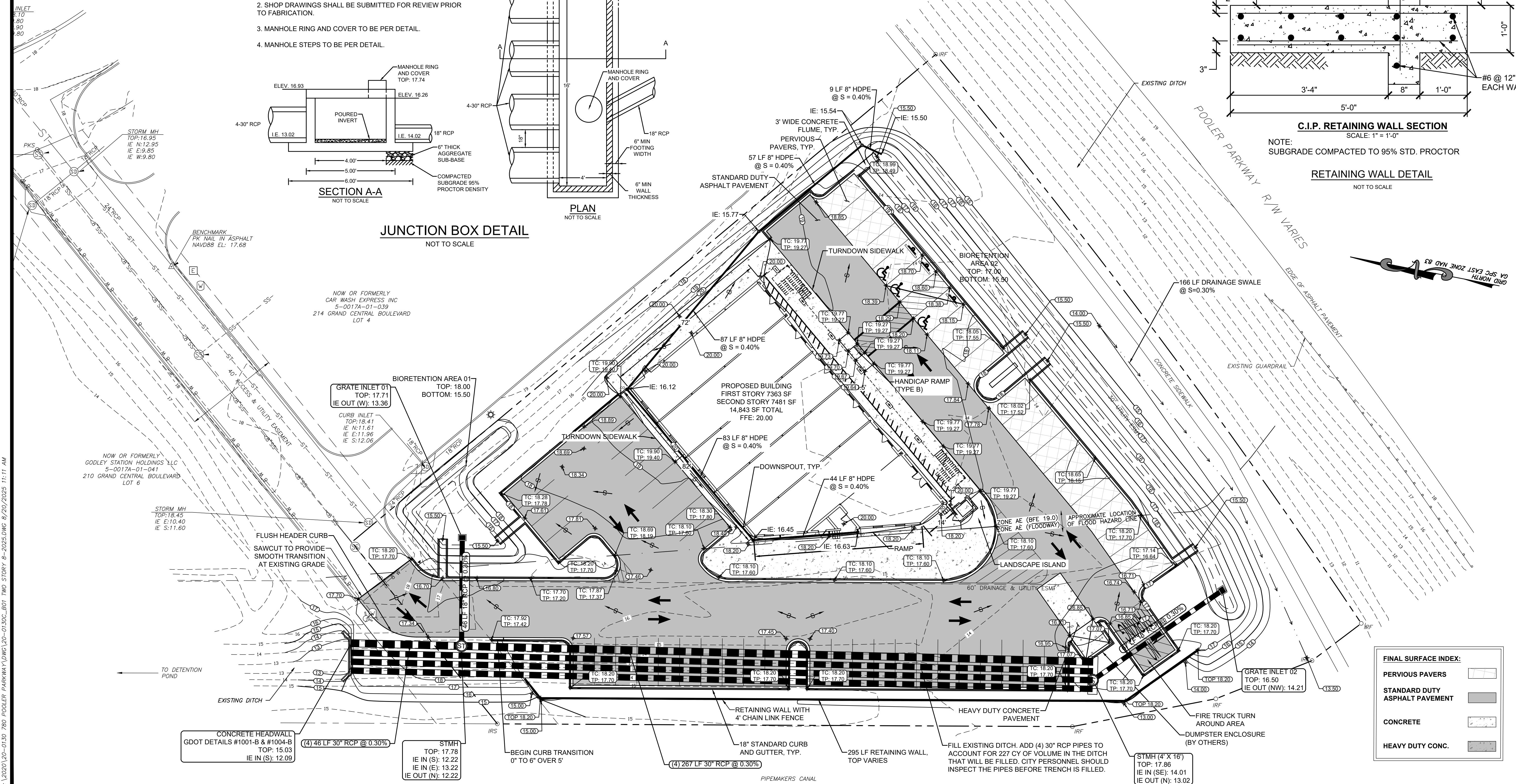
BIO-RETENTION AREA 02 CROSS SECTION
NOT TO SCALE

1. JUNCTION BOX TO BE PRE-CAST PER ASTM C-478. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
2. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
3. MANHOLE RING AND COVER TO BE PER DETAIL.
4. MANHOLE STEPS TO BE PER DETAIL.



JUNCTION BOX DETAIL

NOT TO SCALE



C.I.P. RETAINING WALL SECTION

NOTE:
SUBGRADE COMPACTED TO 95% STD. PROCTOR

RETAINING WALL DETAIL

NOT TO SCALE

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PAVING, GRADING, AND DRAINAGE PLAN

COMMERCIAL SPACE
780 POOLER PARKWAY

780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA

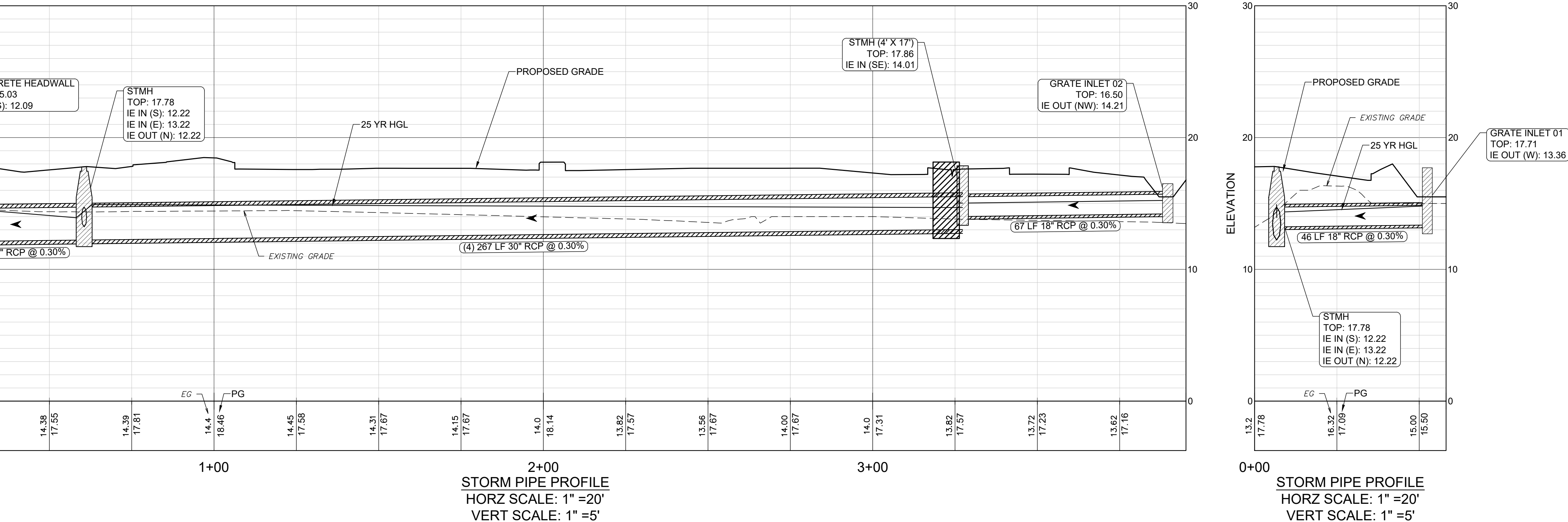
Prepared for:

COMBAT VETERANS, LEO

PROJECT NO.:	20-0130
DRAWN BY:	MRK
DESIGNED BY:	MRK
SURVEYED BY:	BREWER
SURVEY DATE:	2018
CHECKED BY:	ABM
SCALE:	1" = 20'
DATE:	JANUARY 2025

SHEET

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STORM DRAINAGE PROFILE

COMMERCIAL SPACE

780 POOLER PARKWAY
MILLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

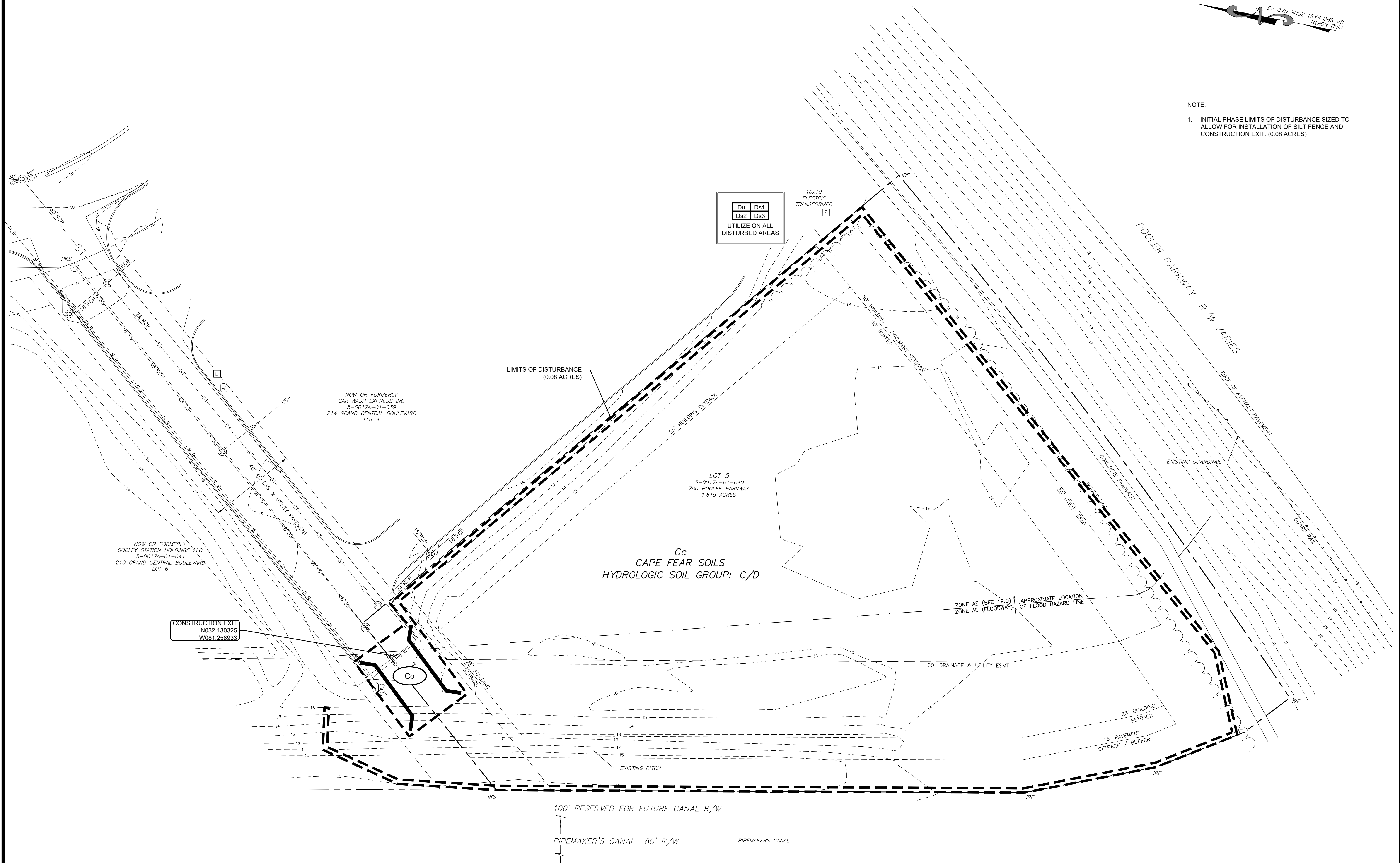
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SHEET

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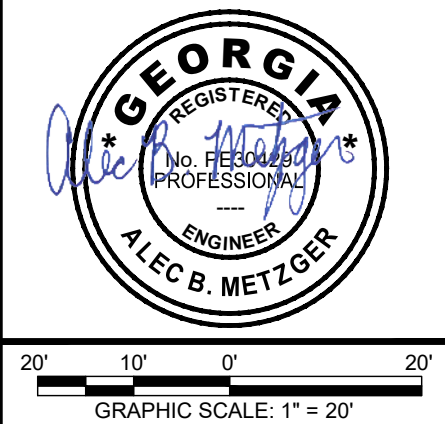
OF

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NOTE

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-	-	-
-	-	-



INITIAL EROSION CONTROL PLAN

PROJECT NO.:	20-0130
DRAWN BY:	MRK
DESIGNED BY:	MRK
SURVEYED BY:	BREWER
SURVEY DATE:	2018
CHECKED BY:	ABM
SCALE:	1" = 20'
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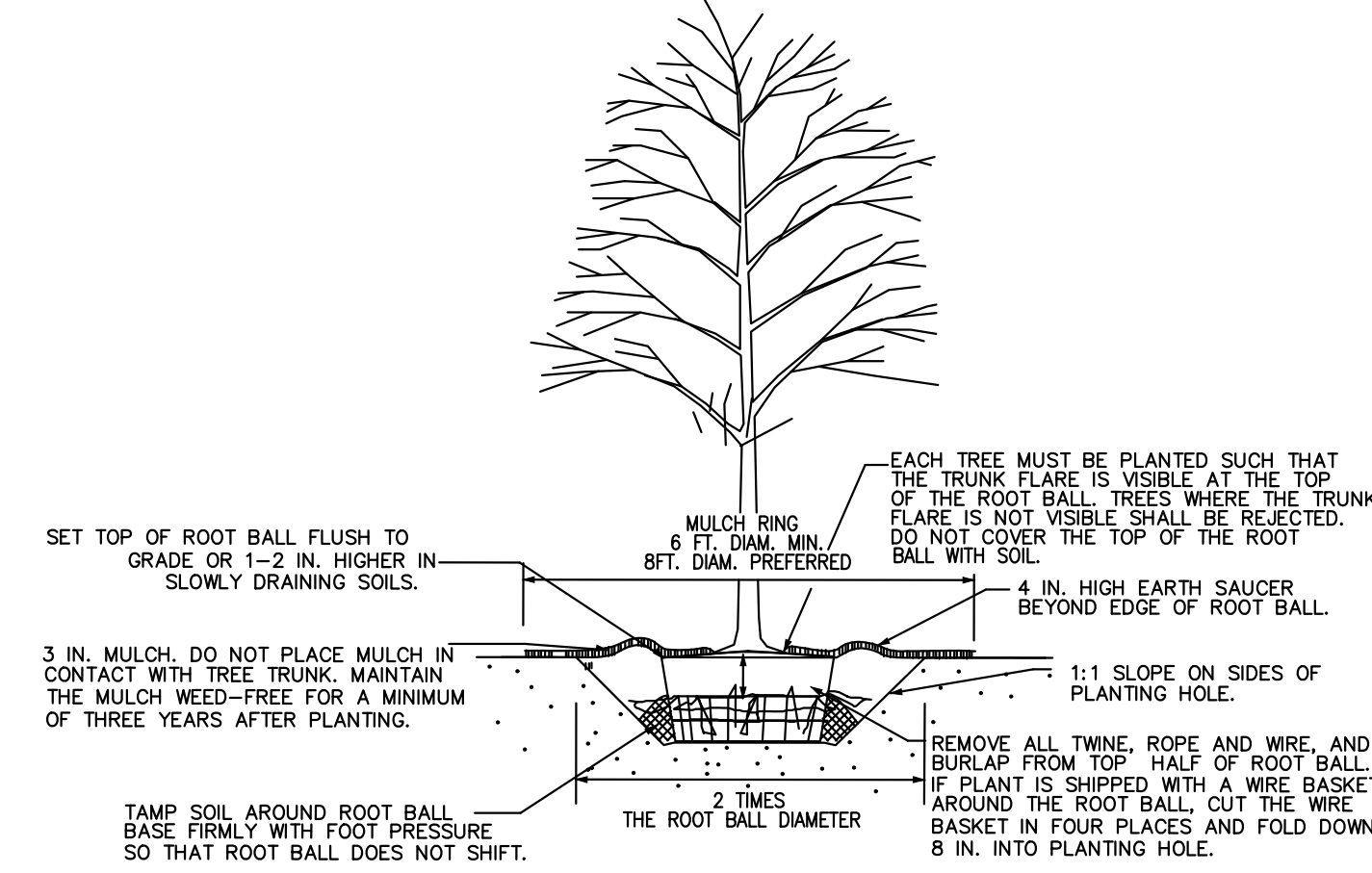
TREE NOTES:

1. A RESIDENTIAL LOT SHALL HAVE A MINIMUM OF 3 PREFERRED TREES, OF WHICH ONE SHALL BE LOCATED IN THE FRONT OF THE RESIDENCE.
2. MULTI-FAMILY, COMMERCIAL AND INDUSTRIAL REQUIREMENT- THE MINIMUM ALLOWABLE POST DEVELOPMENT TREE COVERAGE FOR ALL DEVELOPMENT SITES SHALL BE 15 EXISTING TREES (EXCLUDING PINE TREES AND SWEET GUMS), EIGHT-INCH DIAMETER AT BREAST HEIGHT (DBH) OR LARGER PER ACRE DEVELOPABLE LAND (EXCLUDING BUFFERS AND WETLANDS). EACH TREE WITH A DIAMETER OF 24 INCHES DBH OR LARGER (18 INCHES DBH FOR LIVE OAKS) MUST BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY COUNT AS FIVE TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE. EACH TREE WITH A DIAMETER OF 36 INCHES DBH OR LARGER (30 INCHES DBH FOR LIVE OAKS) MUST ALSO BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY COUNT AS TEN TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE.
3. A TREE WITH DBH OF 24" (EXCEPT SWEET GUMS AND PINES), LIVE OAKS WITH DBH OF 18". IF A SIGNIFICANT TREE IS TO BE REMOVED, THE PLANTING OF NEW TREES OF THE SAME SPECIES, OR IF PREFERRED SPECIES IF THE SAME SPECIES IS NOT AVAILABLE, TOTALING THE SAME NUMBER OF INCHES IN DIAMETER WILL BE REQUIRED. REPLACEMENT TREES SHALL HAVE A MINIMUM DBH OF SIX INCHES.
4. REPLACEMENT TREES SHALL BE AT LEAST 2" DBH AND 8' TALL.
5. PARKING LOT ISLANDS - A 400 SF (MIN) LANDSCAPED ISLAND AREA WITH AT LEAST 1 PREFERRED TREE IS REQUIRED FOR EVERY 12 PARKING SPACES.
7. THE AREA WITHIN THE TREE PROTECTION ZONE MUST BE OPEN AND UNPAVED, EXCEPT WHERE APPROVED PERVIOUS PAVERS MAY BE UTILIZED OR TREE AERATION SYSTEMS AND TREE WELLS ARE INSTALLED.
8. THE PROTECTION ZONE IS DEFINED AS A CIRCLE WITH A RADIUS OF 1' PER 1" DBH EXTENDING OUTWARDLY FROM THE TREE TO BE PROTECTED OR THE EXTENT OF THE DRIP LINE, WHICHEVER IS MORE RESTRICTIVE.
9. TREE PROTECTIVE BARRIERS MUST BE AT LEAST 4' IN HEIGHT, BE PROMINENT VISUALLY AND ERECTED COMPLETELY AROUND THE PROTECTION ZONE. THE USE OF ORANGE POLYETHYLENE SAFETY FENCING OR A SIMILAR MATERIAL IS REQUIRED AS A MINIMUM.
10. "TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN".
11. ALL TREES AND LANDSCAPED AREAS SHALL BE PROVIDED WITH A MEANS FOR DELIVERY OF WATER IN A QUANTITY THAT IS SUFFICIENT TO ESTABLISH AND MAINTAIN THE VIABILITY OF THE PLANTS; A WATER SUPPLY IS NOT REQUIRED FOR AREAS OF ESTABLISHED TREES AND OTHER VEGETATION THAT ARE RETAINED FOR GREEN SPACE, PROVIDED THAT SITE GRADING OR DEVELOPMENT ACTIVITIES WILL NOT RESULT IN DAMAGE TO SAID AREAS.
12. FOR RESIDENTIAL - AMERICAN HOLLY, BIRCH, CYPRESS, DOGWOOD, HICKORY, LIVE OAK, MAGNOLIA, MAPLE, PECAN, SYCAMORE, WALNUT, WILLOW, DRAKE ELM, BOSQUE ELM, AND ALEE ELM.
13. FOR MULTI-FAMILY, COMMERCIAL, PUBLIC INSTITUTIONAL OR INDUSTRIAL DEVELOPMENTS-AMERICAN HOLLY, BIRCH, CYPRESS, HICKORY, LIVE OAK, MAPLE, PALM (GREATER OR EQUAL TO EIGHT-INCH DBH), SYCAMORE, WALNUT, WILLOW, DRAKE ELM, BOSQUE ELM, AND ALEE ELM.

LANDSCAPE NOTES:

1. ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, OR LANDSCAPING SHALL BE GRASSED BY BERMUDA SOD/SEED. OWNER WILL DETERMINE EXTENT OF SODDING VS. SEEDING. THE CONTRACTOR WILL UTILIZE EXISTING GRASS WHENEVER POSSIBLE.
2. ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF PINE STRAW OR AS DIRECTED BY OWNER.
3. NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN.
4. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION.
5. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
6. SEE DETAILS FOR SHRUB AND TREE INSTALLATION.
7. TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT.
8. AN UNDERGROUND IRRIGATION SYSTEM, IF INSTALLED, SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGULATIONS OF THE CITY AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
9. QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN TAKEOFF.
10. MONUMENT SIGNS SHOULD NOT DISPLACE REQUIRED LANDSCAPING.
11. SCREEN DUMPSTER AND RECYCLING BINS WITH MASONRY WALL TO MATCH THE BUILDING AND OPAQUE METAL GATES AND EVERGREEN PLANTINGS.
12. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM COMPLETION OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.
13. THERE ARE NO SIGNIFICANT TREES ON SITE.

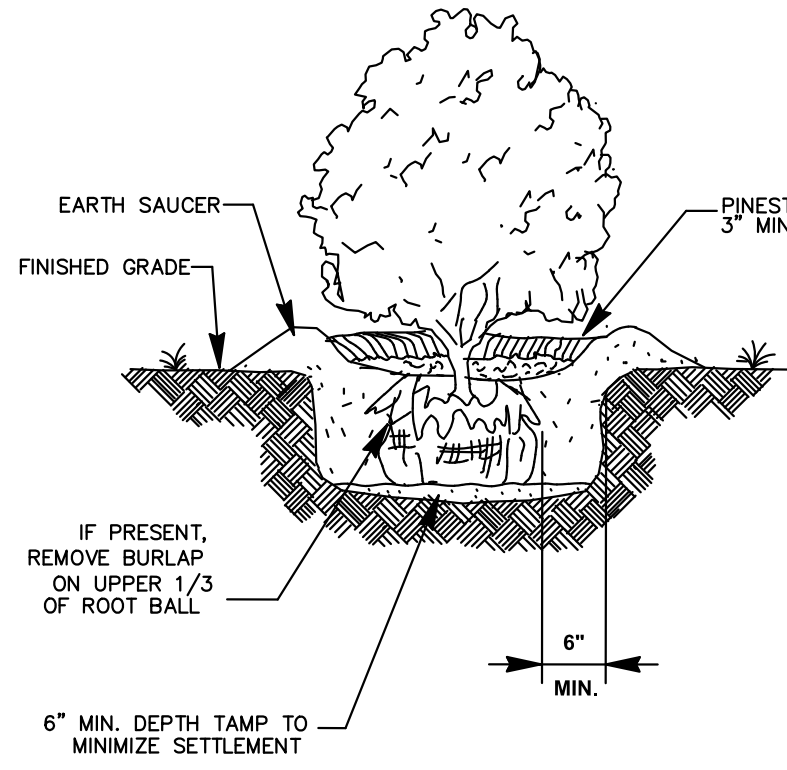
Q12 NORTH
Q12 SPEC EAST ZONE NAD 83



NOTES

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).

TREE PLANTING
NOT TO SCALE

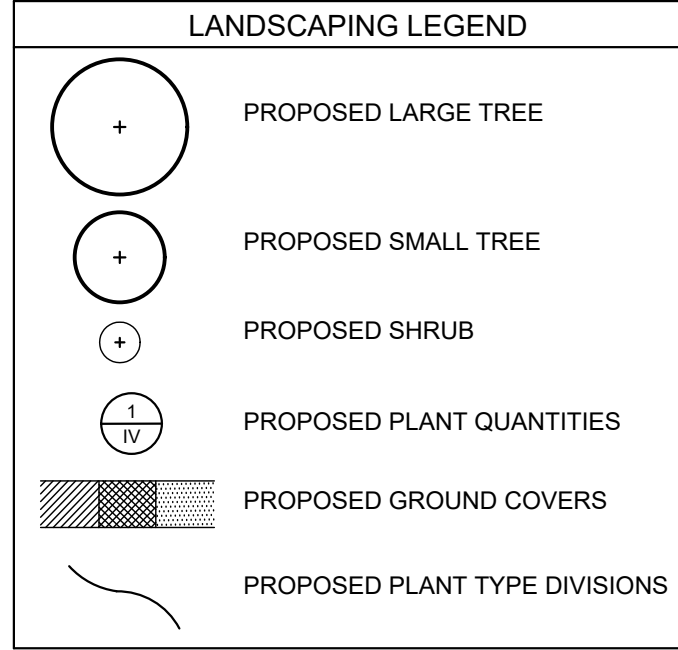


NOTES

1. CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
2. FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

SHRUB PLANTING
NOT TO SCALE

PLANT SCHEDULE						
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
SHRUBS	ROCK	RIVER ROCK	220 SF	2"-6" DIA	-	-
	MUC	MUHLENBERGIA CAPILLARIS	110	3 GAL	3' O.C.	-
	LCR	LOROPETALUM CHINENSIS 'RUBY'	26	3 GAL.	4' O.C.	-
	VOD	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	82	3 GAL.	3' O.C.	-
TREES	CR	CYCAS REVOLUTA	3	5 GAL.	AS SHOWN	-
	AR	ACER RUBRUM 'OCTOBER GLORY'	7	2"-2.5" CAL	AS SHOWN	-
	CC	CALLISTEMON CITRINUS	2	7 GAL	AS SHOWN	-
	IOS	ILEX OPACA 'SAVANNAH'	15	2" CAL(8"-10")	AS SHOWN	-
	QV	QUERCUS VIRGINIANA	10	2"-2.5" CAL	AS SHOWN	-
	TD	TAXODIUM DISTICHUM	1	2"-2.5" CAL	AS SHOWN	-
	UA	ULMUS ALATA	2	2"-2.5" CAL	AS SHOWN	-



★ 1.62 AC X 15 = 25 HARDWOOD TREES REQUIRED
35 HARDWOOD TREES PROVIDED

NOW OR FORMERLY
CAR WASH EXPRESS INC
5-0017A-01-039
214 GRAND CENTRAL BOULEVARD
LOT 4

SEWER MH
TOP: 18.08
IE S: 15.68
IE E: 15.63
IE W: 15.68

CURB INLET
TOP: 18.41
IE N: 11.61
IE E: 11.96
IE S: 12.08

LOT 5
5-0017A-01-040
780 POOLER PARKWAY
1.615 ACRES

4" IRRIGATION
CONDUIT, TYP.

100' RESERVED FOR FUTURE CANAL R/W

PIPEMAKERS CANAL 80' R/W

PIPEMAKERS CANAL

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GENERAL ES&P CONTROL NOTES

PROJECT NAME: COMMERCIAL SPACE ADDRESS: 780 POOLER PARKWAY
CITY / COUNTY: POOLER / CHATHAM COUNTY DATE ON PLANS: JANUARY 2025
NAME & EMAIL OF PERSON FILLING OUT CHECKLIST: MCCAULEA KIRKLAND mccaulea_kirkland@emc-eng.com

1. STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, 6TH EDITION".
2. EROSION CONTROL PROGRAM: CLEARING WILL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH WILL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER EXCAVATION IS COMPLETED. LAND-DISTURBING WILL BE SCHEDULED TO LIMIT EXPOSURE OF BARE SOILS TO EROSION ELEMENTS. STORM WATER MANAGEMENT STRUCTURES WILL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS.
3. SEDIMENT CONTROL PROGRAM: SEDIMENT CONTROL WILL BE ACCOMPLISHED BY INSTALLING BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. PLANS HAVE BEEN PHASED INTO INITIAL, SEDIMENT STORAGE AND PERIMETER CONTROL BMP'S, INTERMEDIATE GRADING AND DRAINAGE BMP'S AND FINAL BMP'S. ALL BMP'S HAVE BEEN LABELED ON PLANS USING THE UNIFORM CODING SYMBOLS FROM THE MANUAL. (SEE LEGEND)
4. MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY. CLEANOUT OF SEDIMENT CONTROL STRUCTURES WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. SEDIMENT BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. THE SEDIMENT BARRIERS WILL THEN BE REMOVED AND THE AREAS OCCUPIED BY THESE AREAS WILL THEN BE VEGETATED. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER.

CHECKLIST ES&P NOTES

1. THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.

2. LEVEL II CERTIFICATION NUMBER ISSUED BY THE COMMISSION, SIGNATURE AND SEAL OF THE CERTIFIED DESIGN PROFESSIONAL.



Alec B Metzger
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER: 0000008752
ISSUED: 05/02/2024 EXPIRES: 05/02/2027

3. LIMITS OF DISTURBANCE SHALL BE LESS THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE GAEPD DISTRICT OFFICE. IF GAEPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE THE GAEPD APPROVAL LETTER AND COMPLETED APPENDIX 1 OF THIS CHECKLIST WITH AT LEAST 4 OF THE CHOSEN BPS.

LIMITS OF DISTURBANCE: 1.54 ACRES

4. THE NAME AND PHONE NUMBER OF THE 24-HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS.

24 HOUR CONTACT INFORMATION OF CIVIL SITE WORK,
EMC ENGINEERING SERVICES, INC.
ALEC B. METZGER, PE
100 CHATHAM CENTER SOUTH, SUITE 100
SAVANNAH, GEORGIA 31412
(912)232-6533

5. PROVIDE THE NAME, ADDRESS, EMAIL ADDRESS AND PHONE NUMBER OF PRIMARY PERMITTEE.

24 HOUR CONTACT INFORMATION OF OWNER/PRIMARY PERMITTEE,
COMBAT VETERANS, LLC
ASHIQ KHAN
107 GODLEY WAY
POOLER, GEORGIA 31322
(912) 480-7773
h4id@icloud.com

6. NOTE TOTAL AND DISTURBED ACREAGES OF THE PROJECT OR PHASE UNDER CONSTRUCTION.

THE TOTAL AREA OF THIS PROJECT IS ±1.62 ACRES.
THE TOTAL DISTURBED AREA FOR THIS PROJECT IS ±1.54 ACRES.

7. PROVIDE THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE. GIVE THE LATITUDE AND LONGITUDE IN DECIMAL DEGREES.

LATITUDE: N032.130328"
LONGITUDE: W081.258933"

8. INITIAL DATE OF THE PLAN AND THE DATES OF ANY REVISIONS MADE TO THE PLAN INCLUDING THE ENTITY WHO REQUESTED THE REVISIONS.

INITIAL DATE OF THE PLAN IS JUNE 2021.

9. DESCRIPTION OF THE NATURE OF CONSTRUCTION ACTIVITY AND EXISTING SITE CONDITIONS.

DESCRIPTION: THE PROJECT IS LOCATED AT 780 POOLER PARKWAY IN POOLER, GEORGIA. IT IS THE DESIRE OF THE OWNER TO CONSTRUCT A MULTIPURPOSE COMMERCIAL BUILDING, ALONG WITH A PARKING LOT AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS.

VEGETATION: THE SITE CONSISTS OF VARIOUS VEGETATION INCLUDING TREES AND GRASSED AREAS IN FAIR CONDITION.

10. PROVIDE VICINITY MAP SHOWING SITE'S RELATION TO SURROUNDING AREAS. INCLUDE DESIGNATION OF SPECIFIC PHASE, IF NECESSARY.

SEE COVER FOR VICINITY MAP.

11. IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, MARSHLANDS, ETC. WHICH MAY BE AFFECTED.

RECEIVING WATERS: INITIAL RECEIVING WATER(S) IS AN UNNAMED TRIBUTARY INTO OGEECHEE RIVER, WHICH SUPPORTS WARM WATER FISHERIES.

ADJACENT PROPERTY:
NORTH: COMMERCIAL LOT & CAR WASH EXPRESS (COMMERCIAL DEVELOPMENT)
EAST: CAR WASH EXPRESS (COMMERCIAL DEVELOPMENT)
SOUTH: POOLER PARKWAY
WEST: PIPE MAKERS CANAL

12. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE SITE WAS VISITED PRIOR TO DEVELOPMENT OF THE ES&PC PLAN AS STATED ON PART IV PAGE 20 OF THE PERMIT.

I CERTIFY, UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL

13. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE PERMITTEE'S ES&PC PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BMPS AND SAMPLING TO MEET PERMIT REQUIREMENTS AS STATED ON PART IV PAGE 20 OF THE PERMIT.*

I CERTIFY, THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA," (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL

14. CLEARLY NOTE THE STATEMENT THAT "THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION." IN ACCORDANCE WITH PART IV A.5 PAGE 26 OF THE PERMIT.*

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP's WITHIN 7 DAYS AFTER INSTALLATION.

DESIGN PROFESSIONAL 7 DAY CERTIFICATION.

DATE OF INSPECTION: _____

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE E,S,&PC PLAN ON THE DATE OF INSPECTION

GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION # _____

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&P CONTROL PLAN

THESE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

15. CLEARLY NOTE THE STATEMENT THAT "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

16. PROVIDE A DESCRIPTION OF ANY BUFFER ENCROACHMENTS AND INDICATE WHETHER A BUFFER VARIANCE IS REQUIRED.

DESCRIPTION: N/A

17. CLEARLY NOTE THE STATEMENT THAT "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

18. CLEARLY NOTE THE STATEMENT THAT "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT."

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

19. CLEARLY NOTE STATEMENT THAT "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

20. CLEARLY NOTE STATEMENT THAT "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

21. CLEARLY NOTE THE STATEMENT "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

22. ANY CONSTRUCTION ACTIVITY WHICH DISCHARGES STORM WATER INTO A BIOTA IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT IDENTIFIED IN ITEM III. C. OF THE PERMIT. INCLUDE THE COMPLETED APPENDIX 1 OF THIS CHECKLIST WITH AT LEAST 4 OF THE CHOSEN BMPS THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT."

PROJECT DOES NOT DISCHARGE STORM WATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT

23. IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE BIOTA IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 22 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOI, THE ES&PC PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN."

THIS DOES NOT APPLY TO THIS PROJECT.

24. BMPS FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES. INCLUDE STATEMENT THAT WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED."

CONCRETE WASHDOWN - NO CONCRETE TRUCKS, MIXER CHUTES, HOPPERS, TOOLS, NOR THE REAR OF VEHICLES WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.

25. PROVIDE BMPS FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS.

SOIL CLEANUP AND CONTROL PRACTICES: LOCAL STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MAPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NRC WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AN LOCATE AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATERS, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

26. DESCRIPTION OF THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED."

POST CONSTRUCTION POLLUTANT CONTROL MEASURES: EROSION SEDIMENTATION AND POLLUTION CONTROL MEASURES INSTALLED DURING THE CONSTRUCTION PROCESS SHALL SERVE TO CONTROL POLLUTANTS ENTERING INTO THE STORM WATER COLLECTION SYSTEM AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THESE MEASURES SHALL INCLUDE RIP RAP, OUTLET PROTECTION, AND PERMANENT GRASSING. THE STORM WATER RELEASED WILL MAINTAIN PRE-DEVELOPMENT RUN-OFF RATES AS WELL AS FLOW PATTERNS. RIP RAP, LOCATED AT ALL OUTFALLS, SHALL PROVIDE A NON-EROSIVE FLOW SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS OF THE WATER COURSE ARE MAINTAINED AND PROTECTED (AS SUBJECT TO SECTION 404 OF THE FEDERAL CLEAN WATER ACT).

27. DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE.*

FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

28. DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES.*

HAZARDOUS WASTE - ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS SORTED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT/HESHE IS USING PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SCCP) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

SANITARY WASTES: A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE UNITS WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPS MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

FERTILIZER/HERBICIDE - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPEC. OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIALS WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

POLLUTION CONTROL PROGRAM: WASTE MATERIAL SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. THE STORM WATER DETENTION FACILITY AND PERMANENT BMPS SHALL HELP PREVENT ANY POLLUTANTS, THAT MAY HAVE DISCHARGED INTO THE STORM DRAINAGE SYSTEM, FROM ESCAPING THE SITE.

WASTE MATERIALS - ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

29. DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR THE MAJOR ACTIVITIES, UTILITY ACTIVITIES, TEMPORARY AND FINAL STABILIZATION)

TENTATIVE ACTIVITY SCHEDULE

ACTIVITY	MONTH 01	MONTH 02	MONTH 03	MONTH 04	MONTH 05	MONTH 06
CONSTRUCTION EXIT						
SEDIMENT BARRIER, TEMP SED BASIN						
MAINTENANCE OF ES&PC BMPS						
CLEARING AND GRUBBING, DEMO						
GRADING						
DUST CONTROL MULCHING						
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)						
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)						
PAVING						
CONSTRUCTION						

30. PROVIDE COMPLETE REQUIREMENTS OF INSPECTIONS AND RECORD KEEPING BY THE PRIMARY PERMITTEE.*

INSPECTIONS AND RECORD KEEPING: CONSTRUCTION ACTIVITIES WILL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, RULES, AND REGULATIONS. CONSTRUCTION SITE MUST BE INSPECTED DAILY, WEEKLY, AND MONTHLY BY CERTIFIED PERSONNEL. RECORDS OF INSPECTIONS MUST BE KEPT IN ACCORDANCE WITH PART IV.D.4.A OF THIS PERMIT.

PRIMARY PERMITTEE REQUIREMENTS

- A. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKE PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- B. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOTE MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
- C. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST). (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE, (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.a(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- D. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
- E. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE. NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION, IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. THE PRIMARY PERMITTEE MUST AMEND THE PLAN IN ACCORDANCE WITH THE GENERAL PERMIT PART IV.D.4.B.(5) WHEN A SECONDARY PERMITTEE NOTIFIES THE PRIMARY PERMITTEE OF ANY PLAN DEFICIENCIES.
- F. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.a.(5), OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

DATE	REVISION DESCRIPTION
9/1/2021	1 REVISIONS PER CITY OF POOLER
10/26/2021	2 REVISIONS PER CITY OF POOLER
1/1/2021	3 REVISIONS PER CITY OF POOLER
8/1/2023	4 REVISIONS PER CITY OF POOLER
1/24/25	OWNER REVISIONS



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EROSION CONTROL NOTES

COMMERCIAL SPACE

780 POOLER PARKWAY

POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:

COMBAT VETERANS, LLC

PROJECT NO.: 20-0130

DRAWN BY: MRK

DESIGNED BY: MRK

SURVEYED BY: BREWER

SURVEY DATE: 2018

CHECKED BY: ABM

SCALE: N/A

DATE: JANUARY 2025

12	YES	33. DESCRIPTION OF ANALYTICAL METHODS TO BE USED TO COLLECT AND ANALYZE THE SAMPLES FROM EACH LOCATION. ALL SAMPLING TO BE PERFORMED IN ACCORDANCE WITH PART IV D.6.5 OF GAR100001. <u>SITE FLOW CHARACTERISTICS AND SAMPLING LOCATION.</u> STORM WATER RUNOFF SHALL SHEET FLOW ACROSS THE PROPERTY AND BE COLLECTED BY INLETS OR FLUMES. STORM WATER WILL THEN BE CONVEYED VIA STORM DRAINAGE PIPING INTO PROPOSED BIORETENTION AREAS THAT OUTFALL INTO AN EXISTING DETENTION POND. THIS OUTFALL IS THE LOCATION AT WHICH ALL TURBIDITY SAMPLES SHALL BE TAKEN. STORM WATER COLLECTED IN THE DRAINAGE SYSTEM DISCHARGES INTO PIPE MAKERS CANAL, AND THEN INTO GUM BRANCH. *NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.
12	YES	34. APPENDIX B RATIONALE FOR NTU VALUES AT ALL OUTFALL SAMPLING POINTS WHERE APPLICABLE.* <u>SAMPLE ANALYSIS:</u> STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) OF THE OUTFALL LOCATION. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING 15. THE VALUE THAT WAS SELECTED FROM APPENDIX B IN GENERAL PERMIT. THE NTU IS BASED UPON THE DISTURBED ACREAGE OF 1.65 ACRES FOR THE PROJECT SITE, THE SURFACE WATER DRAINAGE AREA OF 0.10-SQUARE MILES FOR THE DRAINAGE BASIN, AND THE RECEIVING WATER UNNAMED TRIBUTARY TO FOREST RIVER, WHICH SUPPORTS WARM WATER FISHERIES.
9-10	YES	35. DELINEATE ALL SAMPLING LOCATIONS ON ALL PHASES OF THE PLAN, PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS DISCHARGED.*
12	YES	36. A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMPs INTO A SINGLE PHASE.*
ALL	YES	37. GRAPHIC SCALE AND NORTH ARROW.
12	YES	38. EXISTING AND PROPOSED CONTOUR LINES WITH CONTOUR LINES DRAWN AT AN INTERVAL IN ACCORDANCE WITH THE FOLLOWING:

Map Scale	Ground Slope	Contour Intervals, ft
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Steep 8% +	0.5 or 1 1 or 2 2.5 or 10

12	YES	50. LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. USE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6, WITH LEGEND.
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GEORGIA UNIFORM CODING SYSTEM

ESPC STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT		 (SEE PLAN)	A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
Sd1	SEDIMENT BARRIER		 (INDICATE TYPE)	A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH, LOGS AND POLES, OR A SILT FENCE.
Sd2	INLET SEDIMENT TRAP			A TEMPORARY PROTECTIVE DEVICE FORMED AT OR AROUND AN INLET TO A STORM DRAIN TO TRAP SEDIMENT.
St	STORMDRAIN OUTLET PROTECTION		 (SEE PLAN)	A PAVED OR SHORT SECTION OF RIPRAP CHANNEL AT THE OUTLET OF A STORM DRAIN SYSTEM PREVENTING EROSION FROM THE CONCENTRATED RUNOFF.

GEORGIA UNIFORM CODING SYSTEM

ESPC VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDLINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RESISTANT COVER.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)		Ds3	ESTABLISHING A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON DISTURBED AREAS.
Du	DUST CONTROL ON DISTURBED AREAS		Du	CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.
Ss	SLOPE STABILIZATION		Ss	A PROTECTIVE COVERING USED TO PREVENT EROSION AND ESTABLISH TEMPORARY OR PERMANENT VEGETATION ON STEEP SLOPES, SHORE LINES, OR CHANNELS.

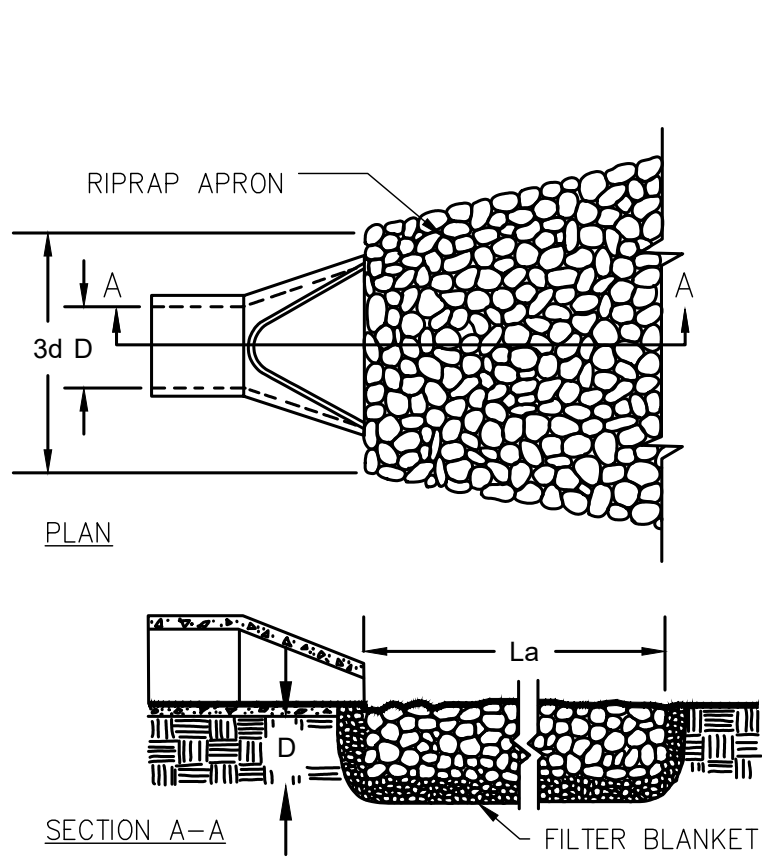
12	YES	52. PROVIDE VEGETATIVE PLAN, NOTING ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES. INCLUDE SPECIES, PLANTING DATES AND SEEDING, FERTILIZER, LIME AND MULCHING RATES. VEGETATIVE PLAN SHALL BE SITE SPECIFIC FOR APPROPRIATE TIME OF YEAR THAT SEEDING WILL TAKE PLACE AND FOR THE APPROPRIATE GEOGRAPHIC REGION OF GEORGIA.
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TEMPORARY AND PERMANENT SEEDING SCHEDULE

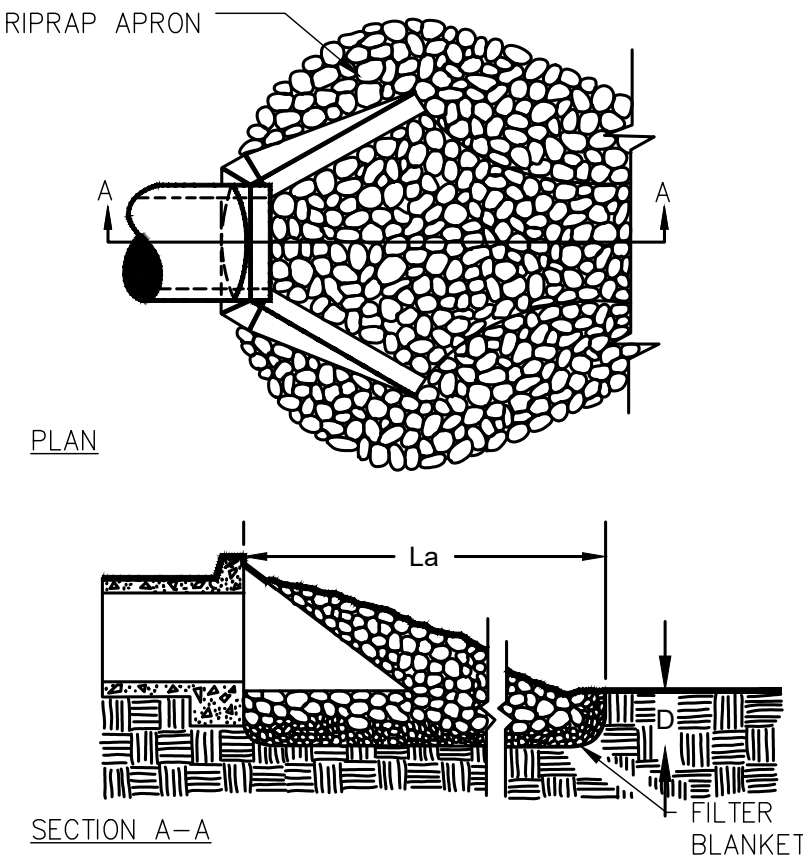
SEEDING RATES FOR TEMPORARY & PERMANENT COVER						
MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JANUARY	RYEGRASS	40 LBS	—	UNHULLED BERMUDA	10 LBS	6 LBS
	RYE	3 BU	0.5 BU	SERLCEA LESPEDEZA (1)	75 LBS	—
	ANNUAL LESPEDEZA	40 LBS	10 LBS	UNHULLED BERMUDA	10 LBS	6 LBS
FEBRUARY	RYEGRASS	40 LBS	—	SERLCEA LESPEDEZA (1)	75 LBS	—
	RYE	3 BU	0.5 BU			
	ANNUAL LESPEDEZA	40 LBS	10 LBS			
MARCH	WEEPIING LOVEGRASS	4 LBS	2 LBS	PENSACOLA BAHIA	60 LBS	30 LBS
	ANNUAL LESPEDEZA	40 LBS	10 LBS	HULLED BERMUDA	10 LBS	6 LBS
				SERLCEA LESPEDEZA (2)	60 LBS	—
APRIL	WEEPIING LOVEGRASS	4 LBS	2 LBS	PENSACOLA BAHIA	60 LBS	30 LBS
	SUDON GRASS	60 LBS	—	WEEPIING LOVEGRASS	4 LBS	2 LBS
	BROWN TOP MILLET	40 LBS	10 LBS	HULLED BERMUDA	10 LBS	6 LBS
MAY	WEEPIING LOVEGRASS	4 LBS	2 LBS	PENSACOLA BAHIA	60 LBS	30 LBS
	SUDON GRASS	60 LBS	—	WEEPIING LOVEGRASS	4 LBS	2 LBS
	BROWN TOP MILLET	40 LBS	10 LBS	HULLED BERMUDA	10 LBS	6 LBS
JUNE	PEARL MILLET	50 LBS	—	SERLCEA LESPEDEZA (2)	60 LBS	—
	PEARL MILLET	50 LBS	—	PENSACOLA BAHIA	60 LBS	30 LBS
	SUDON GRASS	60 LBS	—	HULLED BERMUDA	10 LBS	6 LBS
JULY	BROWN TOP MILLET	40 LBS	10 LBS			
	PEARL MILLET	50 LBS	—	PENSACOLA BAHIA	60 LBS	30 LBS
	SUDON GRASS	60 LBS	—			
AUGUST	BROWN TOP MILLET	40 LBS	10 LBS			
	PEARL MILLET	50 LBS	—	PENSACOLA BAHIA	60 LBS	30 LBS
	RYE	3 BU	0.5 BU			
SEPTEMBER	RYEGRASS	40 LBS	—	SERLCEA LESPEDEZA (1)	75 LBS	—
	OATS	4 BU	1 BU			
	WHEAT	3 BU	0.5 BU			
OCTOBER	WHEAT	3 BU	0.5 BU	SERLCEA LESPEDEZA (1)	75 LBS	—
	RYEGRASS	40 LBS	—			
	RYE	3 BU	0.5 BU			
NOVEMBER	BARLEY	3 BU	0.5 BU			
	OATS	4 BU	1 BU	UNHULLED BERMUDA	10 LBS	6 LBS
	SAME AS OCTOBER			UNHULLED BERMUDA	10 LBS	6 LBS
DECEMBER	SAME AS OCTOBER					

- | | |
|--|---|
| 1. UNSCARIFIED | INVESTIGATE |
| 2. SCARIFIED | 1. FERTILIZING - APPLY 6-12-12 FERTILIZER AT THE RATE OF 35 POUNDS PER 1,000 SQUARE FEET, |
| 3. CENTIPEDE SOD CAN BE USED AS PERMANENT COVER | RAKING LIGHTLY INTO THE SOIL |
| ANYTIME EXCEPT JUNE THRU OCTOBER. | 2. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. THE AGRICULTURAL LIME SHALL MEET THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE. |
| 4. LISTED IN THE ORDER OF PREFERENCE. | 3. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE AND DRY HAY SHALL BE APPLIED AT A RATE OF 2.5 TONS PER ACRE. |
| 5. ALL PERMANENT GRASS PLANTINGS SHALL BE MULCHED. | 4. WATER IMMEDIATELY AFTER MULCHING. |

PIPE OUTLET TO FLAT AREA --
NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL



1. Lo IS THE LENGTH OF THE RIPRAP APRON.
2. D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

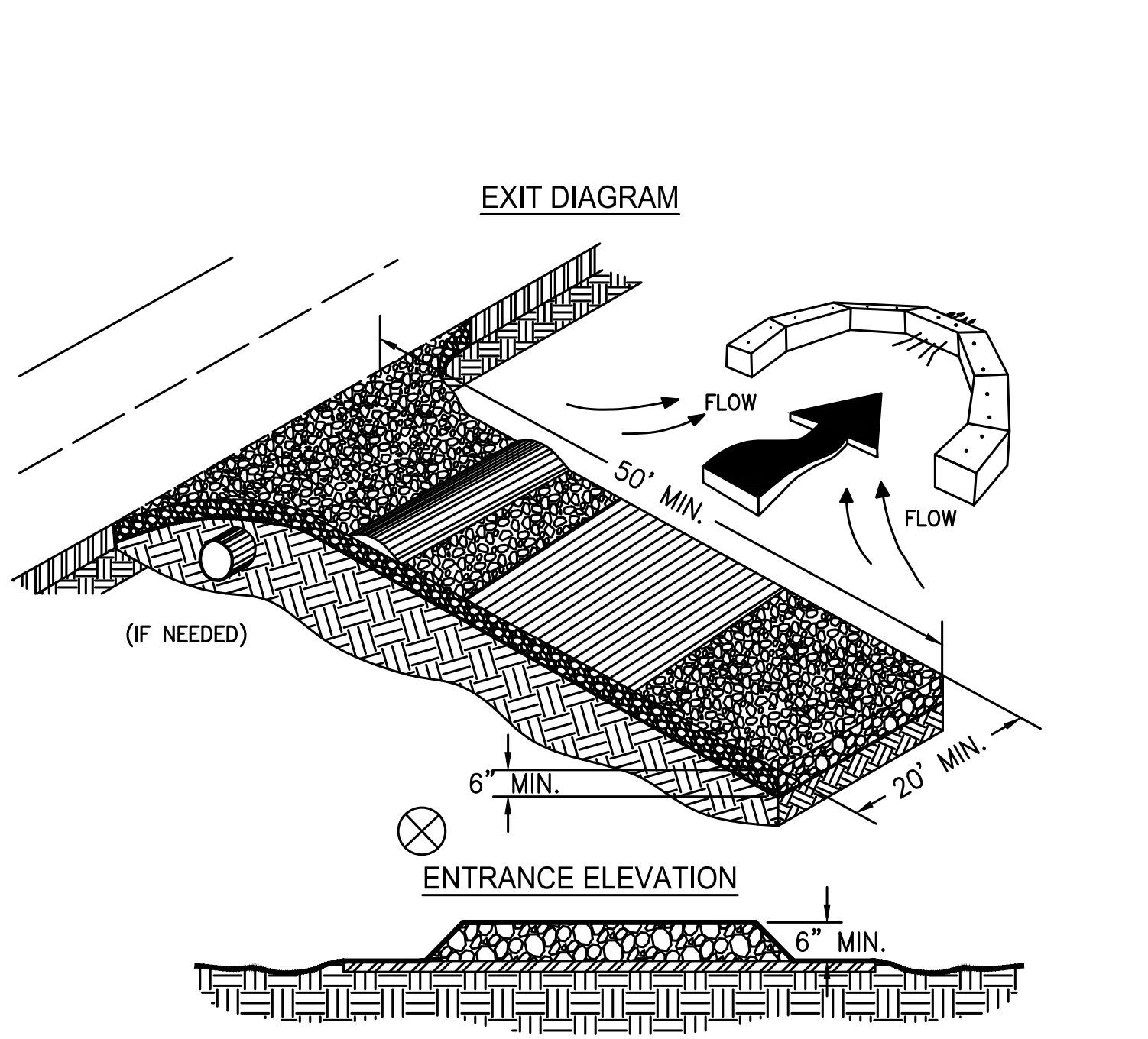
FLOW CHARACTERISTICS					OUTLET PROTECTION DIMENSIONS			
	PIPE	FLOW RATE (CFS)	VELOCITY (FPS)	TAILWATER CONDITION	L _a (FT)	W ₁ (FT)	W ₂ (FT)	d ₅₀
Sl-1	(3) 36" RCP	39.57	5.60	< 0.5 x (PIPE DIA.)	13	9	16	MIN. OF 6"
Sl-2	3' WIDE FLUME	32.60	21.74	< 0.5 x (PIPE DIA.)	8	9	11	MIN. OF 6"
Sl-3		41.98	27.99	< 0.5 x (PIPE DIA.)	14	9	17	MIN. OF 6"
Sl-4	3' WIDE FLUME	52.89	35.26	< 0.5 x (PIPE DIA.)	18	9	21	MIN. OF 6"
Sl-5	3' WIDE FLUME	52.89	35.26	< 0.5 x (PIPE DIA.)	18	9	21	MIN. OF 6"
Sl-6	3' WIDE FLUME	52.89	35.26	< 0.5 x (PIPE DIA.)	18	9	21	MIN. OF 6"
Sl-7	3' WIDE FLUME	52.89	35.26	< 0.5 x (PIPE DIA.)	18	9	21	MIN. OF 6"

RIPRAP OUTLET PROTECTION

NOT TO SCALE



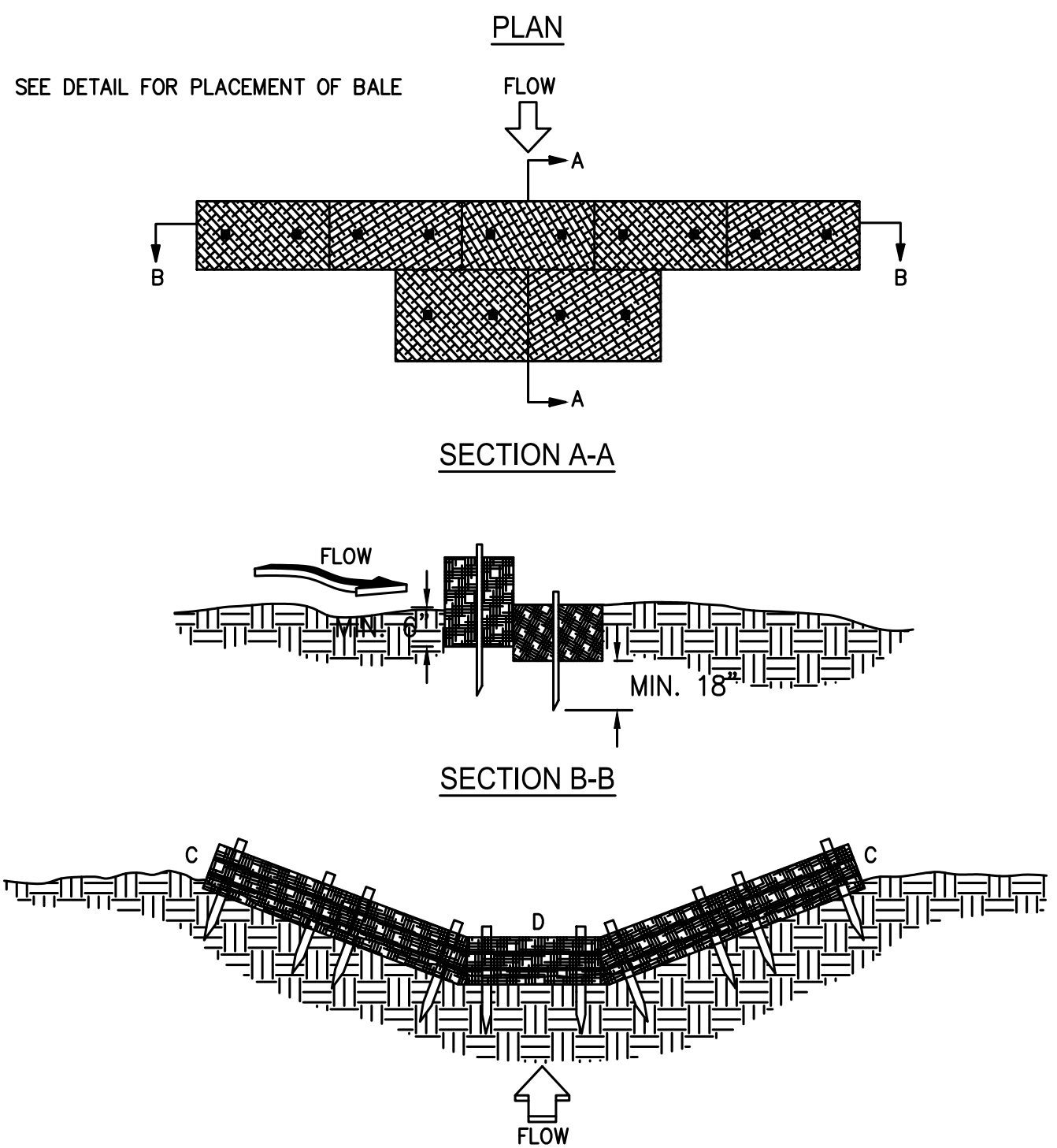
PROJECT NO.: 20-0130			
DRAWN BY: MRK			
DESIGNED BY: MRK			
SURVEYED BY: BREWER			
SURVEY DATE: 2018			
CHECKED BY: ABM			
SCALE: N/A			
DATE: JANUARY 2020			
EROSION CONTROL NOTES			
COMMERCIAL SPACE			
780 POOLER PARKWAY			
POOLER, CHATHAM COUNTY, GEORGIA			
Prepared for:			
COMBAT VETERANS, LLC			
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CIVIL MARINE ENVIRONMENTAL			
ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS			



- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT

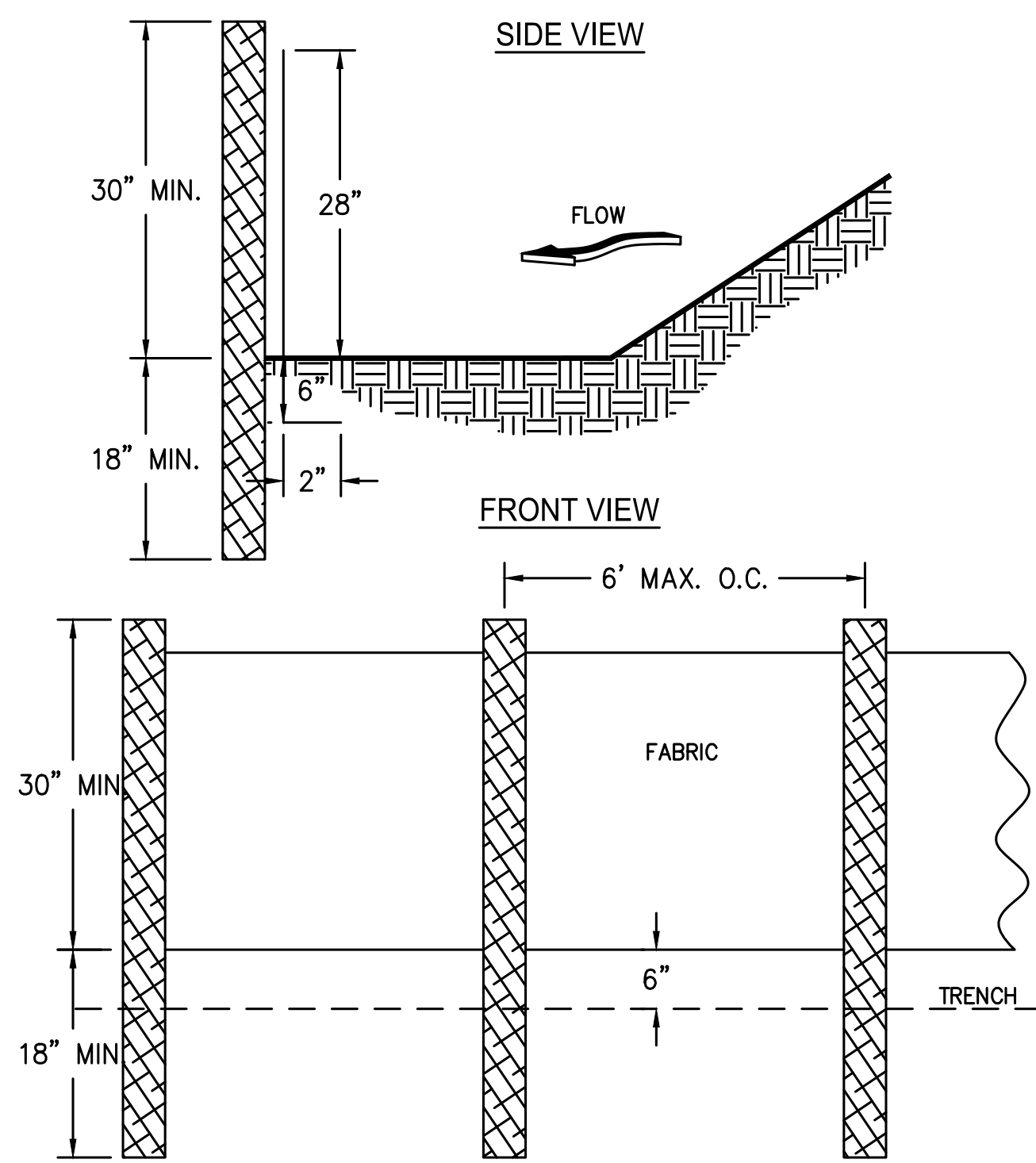
Co



- NOTES:**
1. BALES SHOULD BE BOUND WITH WIRE OR NYLON STRING AND SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 2. REMOVE #4 REBAR AFTER STRAW BALES ARE NO LONGER IN PLACE.
 3. POINT C OF SECTION B-B SHOULD ALWAYS BE HIGHER THAN POINT D.

TYPICAL STRAW BALE CHECKDAM

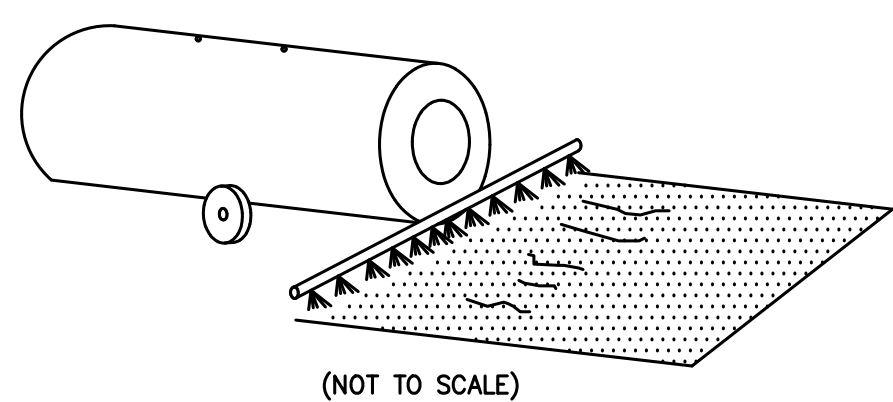
Cd-Hb



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SILT FENCE - TYPE NON-SENSITIVE

Sd1-NS

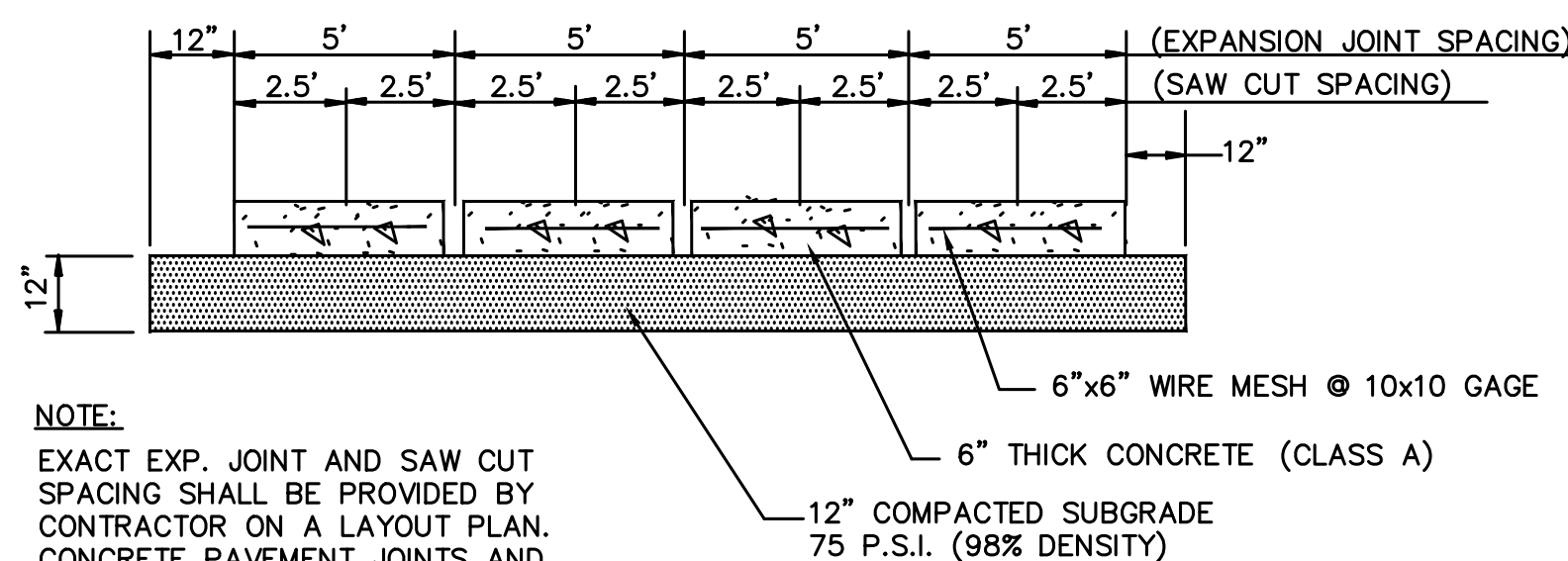


CHEMICAL CONTROL			
ADHESIVE	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ANIOIC ASPHALT EMULSION	7:1*	SPRAY	1200
LATEX EMULSION	12 1/2:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

- *USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE
- TEMPORARY METHODS
 - MULCHES
 - TEMPORARY VEGETATIVE COVER
 - SPRAY ON ADHESIVES
 - TELLAGE
 - IRRIGATION
 - BARRIERS
 - CALCIUM CHLORIDE
 - PERMANENT METHODS
 - PERMANENT VEGETATION
 - TOPSOILING
 - STONE COVER

DUST CONTROL

Du



- NOTE:**
- EXACT EXP. JOINT AND SAW CUT SPACING SHALL BE PROVIDED BY CONTRACTOR ON A LAYOUT PLAN. CONCRETE PAVEMENT JOINTS AND DOWEL BARS SHALL BE AS PER GDOT STANDARDS, NO. 5046H

CONCRETE DUMPSTER PAD DETAIL

NOT TO SCALE

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)

INSTALLATION:

- USE CONVENTIONAL PLANTING METHODS WHERE POSSIBLE.
- FINAL STABILIZATION MEANS THAT 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN, OR EQUIVALENT PERMANENT STABILIZATION MEASURES.
- SELECT PLANT SPECIES BASED ON SITE AND SOIL CONDITIONS, PLANNED USE, AND MAINTENANCE OF THE AREA, TIME OF YEAR, METHOD OF PLANTING, AND THE NEEDS OF THE LAND USER. (REFER TO TABLE 1.)
- APPLY AGRICULTURAL LIME AT A RATE OF 1-2 TONS/ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. PLEASE REFER TO TABLE 2 FOR INITIAL FERTILIZATION, NITROGEN, TOPDRESSING, AND MAINTENANCE FERTILIZER REQUIREMENTS FOR EACH SPECIES.
- APPLY SEED HYDRAULICALLY. IF USING CONVENTIONAL METHODS, USE A CULTI-PACKER SEEDER, DRILL, ROTARY SEEDER, OR BY HAND.
- COVER THE SEED LIGHTLY WITH $\frac{1}{2}$ " - $\frac{3}{4}$ " OF SOIL FOR SMALL SEED AND $\frac{1}{2}$ " - 1" OF SOIL FOR LARGE SEED WHEN USING A CULTI-PACKER.
- CHECK SEED TAGS FOR % GERMINATION & % PURITY IN ORDER TO CALCULATE PURE LIVE SEED (PLS), WHICH IS THE PERCENTAGE OF THE SEEDS THAT ARE PURE AND WILL GERMINATE.
- MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS.
- IRRIGATE WHEN THE SOIL IS DRY AND A RATE THAT WILL NOT CAUSE RUNOFF.

MAINTENANCE:

- RE-SEED AREAS WHERE AN ADEQUATE STAND OF TEMPORARY VEGETATION FAILS TO EMERGE OR WHERE A POOR STAND EXISTS.
- MAINTAIN AT LEAST 6" OF TOP GROWTH UNDER ANY USE AND MANAGEMENT.
- EXCLUDE TRAFFIC UNTIL THE PLANTS ARE WELL ESTABLISHED.
- PLEASE REFER TO TABLE 2 FOR SECOND YEAR AND MAINTENANCE FERTILIZER RATES.
- APPLY ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS INDICATED BY SOIL TESTS.
- MOW BERMUDAGRASS, BAHIAGRASS, AND TALL FESCUE AS DESIRED.
- MOW SERICEA LESPEDEZA ONLY AFTER FROST TO ENSURE THAT THE SEEDS ARE MATURE.

TABLE 1. SOME TEMPORARY PLANT SPECIES, SEEDING RATES, AND PLANTING DATES

SPECIES	RATE PER 1,000 SQ. FT.	RATE PER ACRE	PLANTING DAYS BY REGION		
			M - L	P	C
BAHIA, PENSACOLA ALONE OR W/ TEMP. COVER W/ OTHER PERENNIALS	1.4 LBS 0.7 LBS	60 LBS 30 LBS	---	4/1-5/31	3/1-5/31
BAHIA, WILMINGTON ALONE OR W/ TEMP. COVER W/ OTHER PERENNIALS	1.4 LBS 0.7 LBS	30 LBS 30 LBS	3/15-5/31	3/1-5/31	---
BERMUDA, COMMON (HULLED SEED) ALONE W/ OTHER PERENNIALS	0.2 LBS 0.1 LBS	10.0 LBS 6.0 LBS	---	4/1-5/31	3/15-5/31
BERMUDA, COMMON (UNHULLED SEED) W/ TEMP. COVER W/ OTHER PERENNIALS	0.2 LBS 0.1 LBS	10.0 LBS 6.0 LBS	---	10/1-2/28	1/1-1/31
BERMUDA SPRINGS COMMON LAWN & FORAGE HYBRIDS	0.9 CU. FT. SOD PLUGS 3' X 3'	40 CU. FT.	4/15-6/15	4/1-6/15	4/1-5/31
CENTPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	---	11/1-5/31	11/1-5/31
CROWN VETCH W/ WINTER ANNUALS OR COOL SEASON GRASSES	0.3 LBS	15 LBS	9/1-10/15	9/1-10/15	---
FESCUE, TALL ALONE W/ OTHER PERENNIALS	1.1 LBS 0.7 LBS	50 LBS 30 LBS	3/1-4/15 8/15-10/15	9/1-10/15	---
LESPEDEZA, SERICEA	1.4 LBS	60 LBS	4/1-5/31	3/15-5/31	3/1-5/15
SCARIFIED	1.7 LBS	75 LBS	9/1-2/28	9/1-2/28	9/1-2/28
UNSCARIFIED	1.7 LBS	75 LBS	10/1-2/28	10/1-1/31	10/15-1/15
SEED-BEARING HAY	138 LBS	3 TONS	10/1-2/28	10/1-1/31	10/15-1/15
LESPEDEZA AMBRO VIRGATA OR APPALOW	1.4 LBS	60 LBS	4/1-5/31	3/15-5/31	3/1-5/15
SCARIFIED	1.7 LBS	75 LBS	9/1-2/28	9/1-2/28	9/1-2/28
UNSCARIFIED	1.7 LBS	75 LBS	10/1-2/28	10/1-1/31	10/15-1/15
LESPEDEZA, SHRUB (LESPEDEZA BICOLOR OR LESPEDEZA THUMBERGII) PLANTS	3' X 3' SPACING	10/1-3/31	11/1-3/15	11/15-2/28	
LOVEGRASS, WEEPING ALONE W/ OTHER PERENNIALS	0.1 LBS 0.05 LBS	4 LBS 2 LBS	4/1-5/31	3/15-5/31	3/1-5/31
MAIDENCANE SPRIGS	2' X 3' SPACING	2/1-3/31	2/1-3/31	2/1-3/31	
PANICGRASS, ATLANTIC COASTAL	0.5 LBS	20 LBS	---	3/1-4/30	3/1-4/30
RED CANARY GRASS W/ OTHER PERENNIALS	1.1 LBS 0.7 LBS	50 LBS 30 LBS	8/15-10/15	9/1-10/15	---
SUNFLOWER, AZTEC MAXIMILLIAN	0.2 LBS	10 LBS	4/15-5/31	4/15-5/31	4/1-5/31

TABLE 2: FERTILIZER REQUIREMENTS FOR PERMANENT VEGETATION

TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS/ACRE)	N TOP DRESSING RATE (LBS/ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	---
	MAINTENANCE	10-10-10	400	30
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50
	SECOND	0-10-10	1000	---
	MAINTENANCE	0-10-10	400	---
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	800	50-100
	MAINTENANCE	10-10-10	400	30
WARM SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	50
	SECOND	0-10-10	1000	---
	MAINTENANCE	0-10-10	400	---

Ds1 DISTURBED AREA STABILIZATION (MULCHING ONLY)

INSTALLATION:

- APPLY MULCH OR TEMPORARY GRASSING TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE.
- APPLICABLE TO GRADED OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER.
- MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO 6 MONTHS.
- APPLY AT THE APPROPRIATE DEPTH. REFER TO TABLE 1 FOR SPECIFIC MATERIALS.

TABLE 1: MULCHING APPLICATION REQUIREMENTS

MATERIAL	RATE	DEPTH
STRAW OR HAY	2 - 2.5 TONS/ACRE	2" TO 4"
WOOD WASTE, CHIPS, SAWDUST, BARK	-	2" TO 3"
POLYETHYLENE FILM	SECURE WITH SOIL, ANCHORS, WEIGHTS	-
GEOTEXTILES, JUTE MATTING, NETTING, ETC.	SEE MANUFACTURER'S RECOMMENDATIONS	-

SITE PREPARATION:

- GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
- INSTALL NEEDED EROSION CONTROL MEASURES SUCH AS DIKES, BERMS, AND SEDIMENT BARRIERS.
- LOOSEN COMPACTED SOIL TO A MINIMUM DEPTH OF 3".

APPLYING MULCH:

- APPLY DRY STRAW OR HAY AND WOOD CHIPS UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
- APPLY 20-30 LBS OF NITROGEN / ACRE IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION.
- APPLY POLYETHYLENE FILM ON EXPOSED AREAS.

ANCHORING MULCH:

- PRESS STRAW OR HAY INTO THE SOIL WITH A DISK HARROW IMMEDIATELY AFTER APPLICATION. TACKIFIERS MAY BE USED WHEN SPREADING MULCH WITH BLOWER-TYPE EQUIPMENT.
- ANCHOR WOOD WASTE USING THE APPROPRIATE SIZE NETTING.
- TRENCH POLYETHYLENE AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

MAINTENANCE:

- THE APPROPRIATE DEPTH AND 90% COVER SHALL BE MAINTAINED AT ALL TIMES.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

INSTALLATION:

- APPLY MULCH OR TEMPORARY GRASSING TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE.
- APPLICABLE TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR LESS THAN 6 MONTHS.
- COORDINATE WITH PERMANENT MEASURES TO ENSURE ECONOMICAL AND EFFECTIVE STABILIZATION.
- TAKE NOTE OF WHICH SPECIES ARE NOT APPROPRIATE FOR COMPANION CROP PLANTINGS.
- WHEN THE SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, SCARIFY THE SOIL IN ORDER TO PROVIDE A PLACE FOR THE SEED TO LODGE AND GERMINATE.
- APPLY AGRICULTURAL LIME AT THE RATE DETERMINED BY SOIL TEST PH. (TYP. 1 TON/ACRE).
- APPLY LIME BEFORE LAND PREPARATION AND INCORPORATE WITH A DISK, RIPPER, OR CHISEL.
- ON STEEP SLOPES, APPLY FERTILIZER HYDRAULICALLY.
- SELECT GRASS OR GRASS-LEGUME MIXTURES BASED ON THE AREA AND SEASON OF THE YEAR.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTI-PACKER-SEEDER, OR HYDRAULIC SEEDER.
- THE APPROPRIATE DEPTH OF PLANTING IS 10x THE SEED DIAMETER.
- APPLY IRRIGATION AT A RATE THAT WILL NOT CAUSE RUNOFF AND EROSION. THOROUGHLY WET THE SOIL TO INSURE GERMINATION OF THE SEED.

MAINTENANCE:

- RE-SEED AREAS WHERE AN ADEQUATE STAND OF TEMPORARY VEGETATION FAILS TO EMERGE.
- IF OPTIMUM CONDITIONS FOR TEMPORARY VEGETATION IS LACKING, MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE.

TABLE 1. SOME TEMPORARY PLANT SPECIES, SEEDING RATES, AND PLANTING DATES

SPECIES	RATE PER 1,000 SQ. FT.	RATE PER ACRE	PLANTING DAYS BY REGION		
			M - L	P	C
BARLEY ALONE	3.3 LBS	3.0 BU	9/1-10/31	9/15-11/15	10/1-12/31
BARLEY IN MIXTURES	0.6 LBS	0.5 BU	---	---	---
LESPEDEZA, ANNUAL	0.9 LBS	40 LBS	3/1-3/31	3/1-3/31	2/1-2/28
LESPEDEZA IN MIXTURES	0.2 LBS	10 LBS	---	---	---
LOVEGRASS, WEEPING	0.1 LBS	4.0 LBS	4/1-5/31	4/1-5/31	3/1-5/31
LOVEGRASS IN MIXTURES	0.05 LBS	2.0 LBS	---	---	---
MILLET, BROWNTOP	0.9 LBS	40 LBS	4/15-6/15	4/15-6/30	4/15-6/30
MILLET IN MIXTURES	0.2 LBS	10 LBS	---	---	---
MILLET, PEARL	1.1 LBS	50 LBS	5/15-7/15	5/1-7/31	4/15-8/15
OATS ALONE	2.99 LBS	4.0 BU	9/15-11/15	9/15-11/15	9/15-11/15
OATS IN MIXTURES	0.7 LBS	1.0 BU	---	---	---
RYE (GRAIN) ALONE	3.9 LBS	3.0 BU	8/15-10/31	9/15-11/30	10/1-12/31
RYE IN MIXTURES	0.6 LBS	0.5 BU	---	---	---
RYEGRASS	0.9 LBS	40 LBS	8/15-11/15	9/1-12/15	9/15-12/31
SUDANGRASS	1.4 LBS	60 LBS	5/31-7/31	5/31-7/31	4/1-7/31
TRITICALE ALONE	3.3 LBS	3.0 BU	N/A	N/A	10/15-11/30
TRITICALE IN MIXTURES	0.6 LBS	0.5 BU	---	---	---
WHEAT ALONE	4.1 LBS	3.0 BU	9/15-11/30	10/1-12/15	10/15-12/31
WHEAT IN MIXTURES	0.7 LBS	0.5 BU	---	---	---

TABLE 2: FERTILIZER REQUIREMENTS FOR TEMPORARY VEGETATION

TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS/ACRE)	N TOP DRESSING RATE (LBS/ACRE)
COOL SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	1000	---
	MAINTENANCE	10-10-10	400	30
COOL SEASON GRASSES & LEGUMES	FIRST	6-12-12	1500	0-50
	SECOND	0-10-10	1000	---
	MAINTENANCE	0-10-10	400	---
TEMPORARY COVER CROPS SEEDS ALONE	FIRST	10-10-10	500	30
WARM SEASON GRASSES	FIRST	6-12-12	1500	50-100
	SECOND	6-12-12	800	50-100
	MAINTENANCE	10-10-10	400	30

DATE

REVISION DESCRIPTION

NO.

9/1/2021

1

1

10/26/2021

2

2

11/1/2021

3

3

8/1/2023

4

4

1/24/25

5

5

GSWCC

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

Alec B Metzger

LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER: 0000008757

ISSUED: 05/02/2024

EXPIRES: 05/02/2027

GEORGIA

REGISTERED

ENGINEER

Alec B. Metzger

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CONSTRUCTION DETAILS

COMMERCIAL SPACE

780 POOLER PARKWAY

POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:

COMBAT VETERANS, LLC

PROJECT NO.:

DRAWN BY:

DESIGNED BY:

SURVEYED BY:

CHECKED BY:

SCALE:

DATE:

20-0130

MRK

MRK

BREWER

ABM

N/A

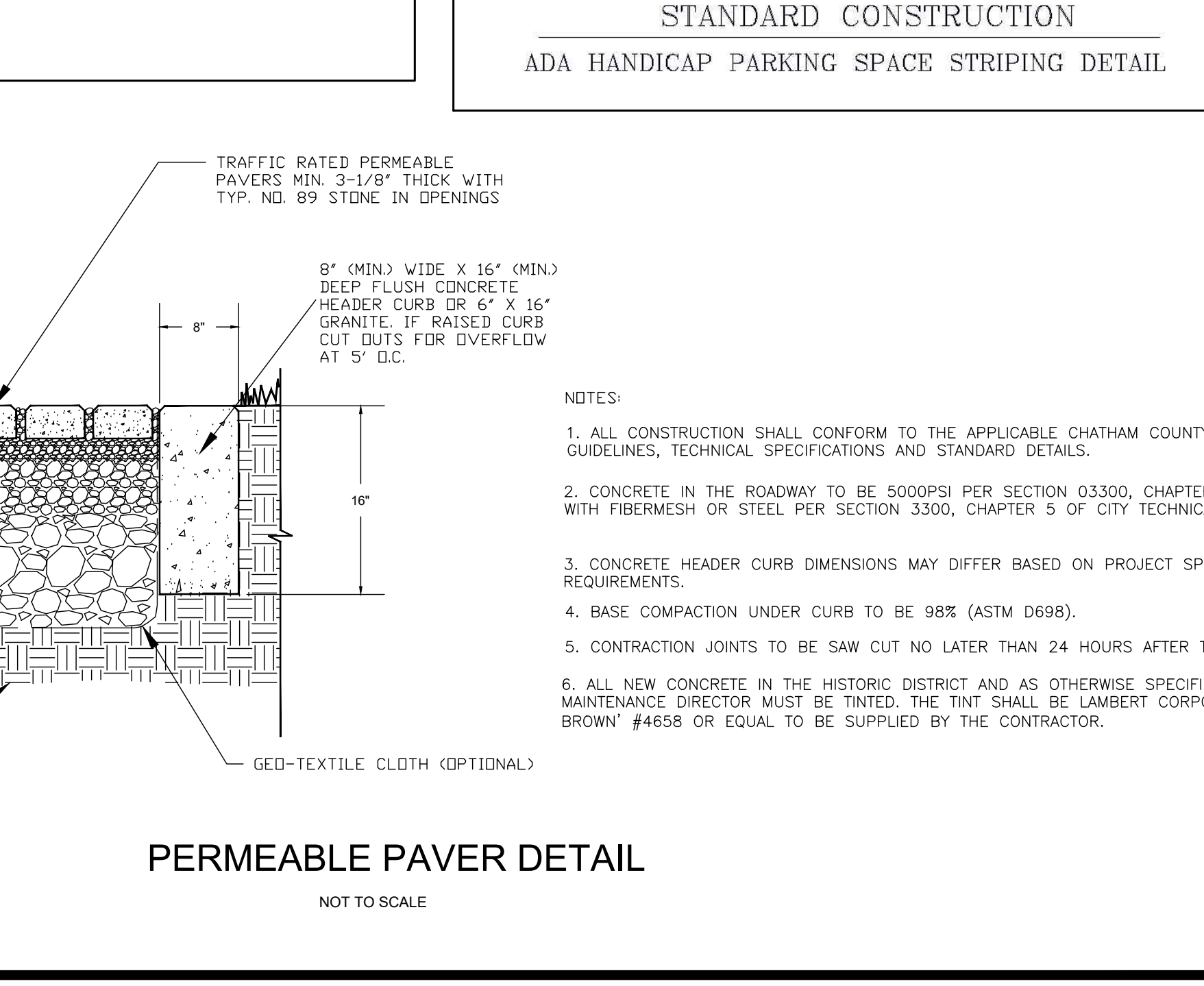
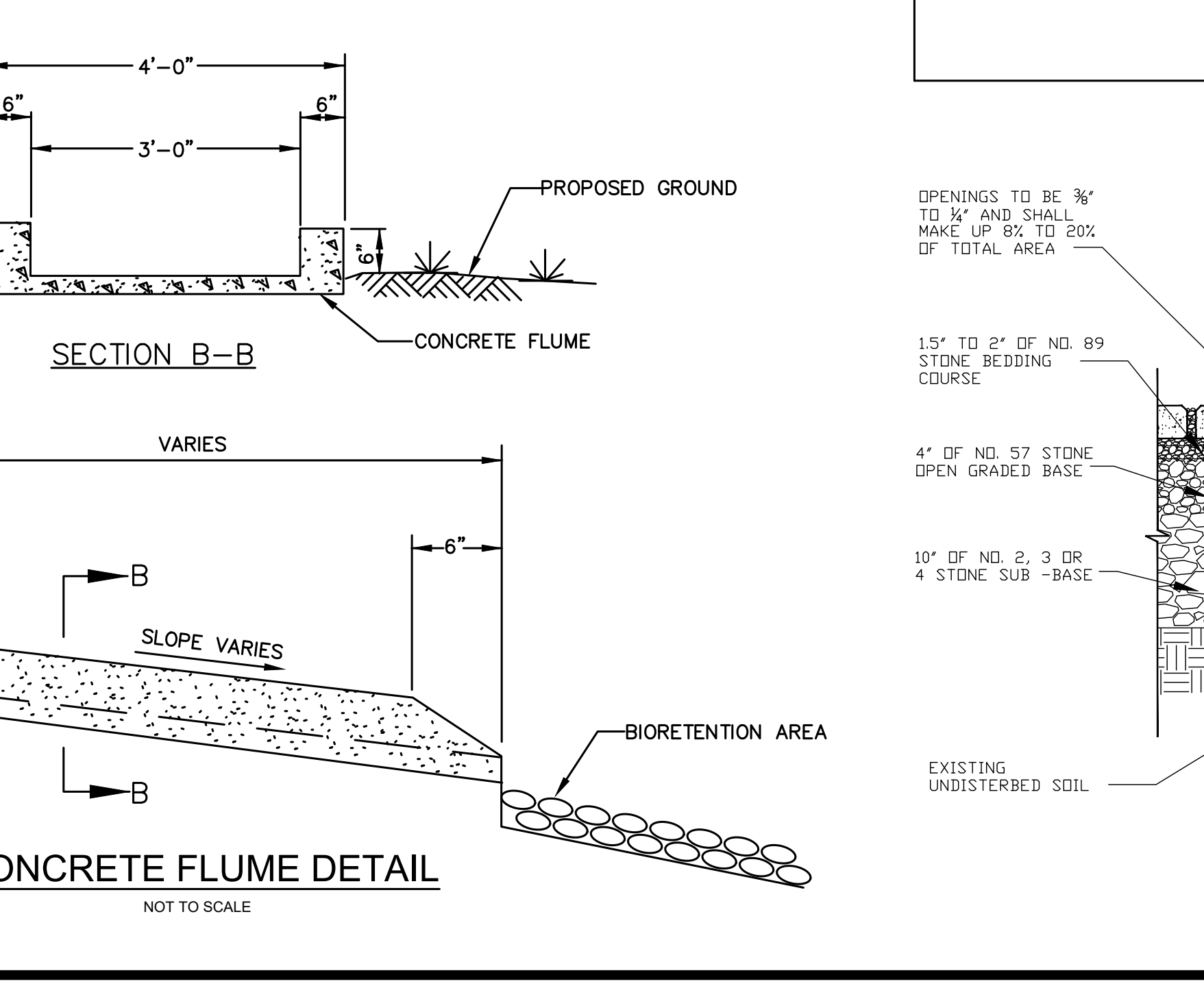
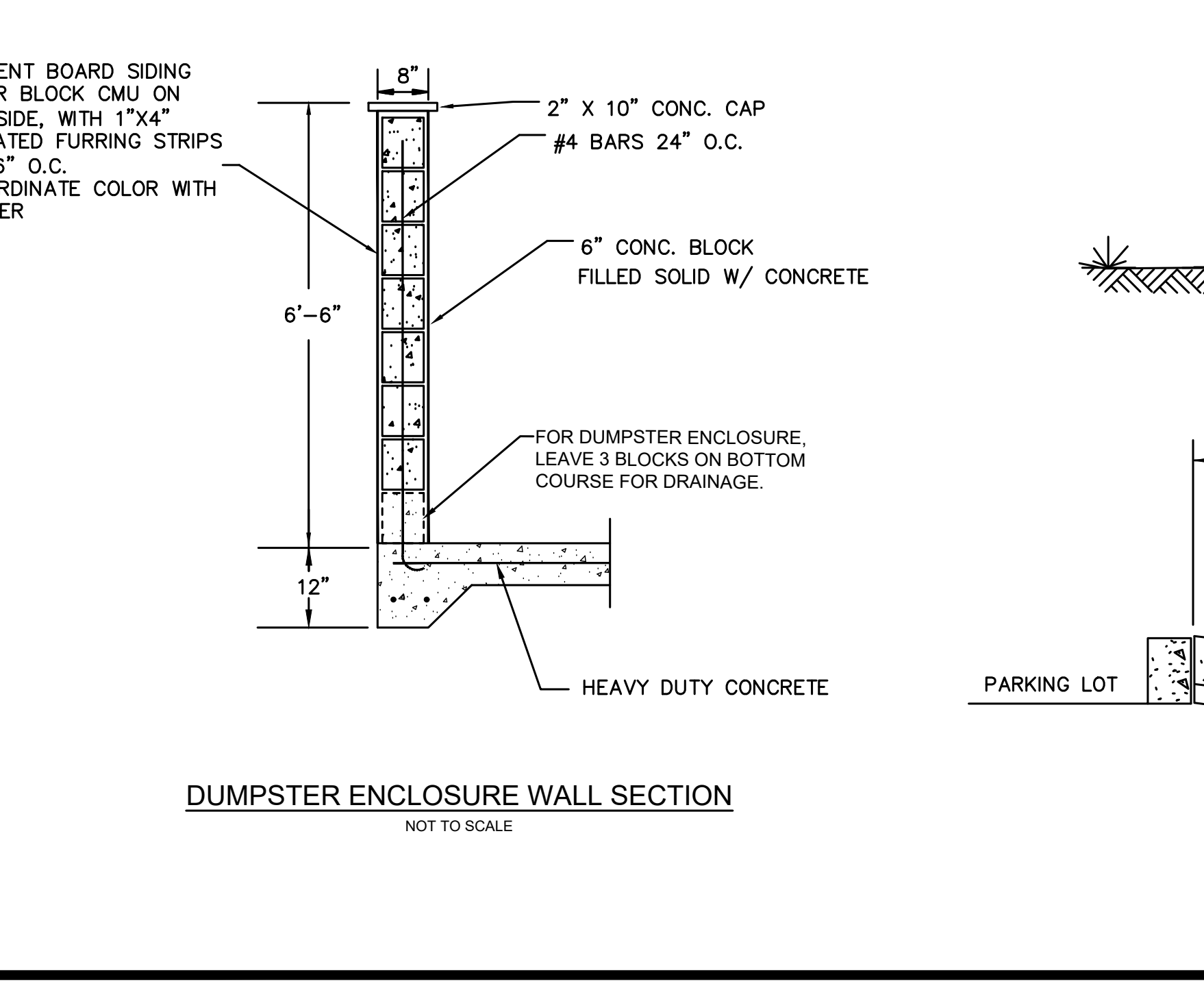
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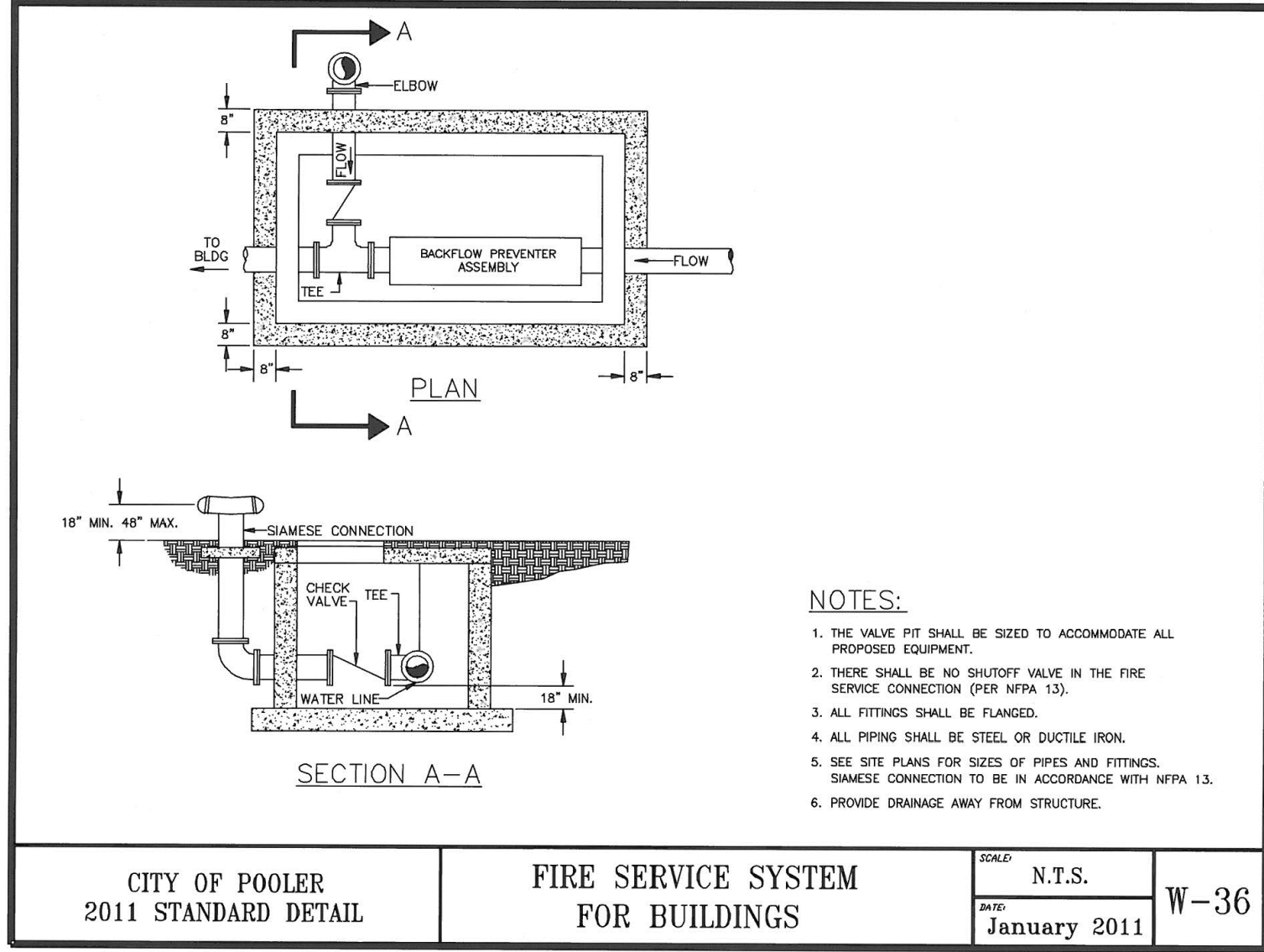
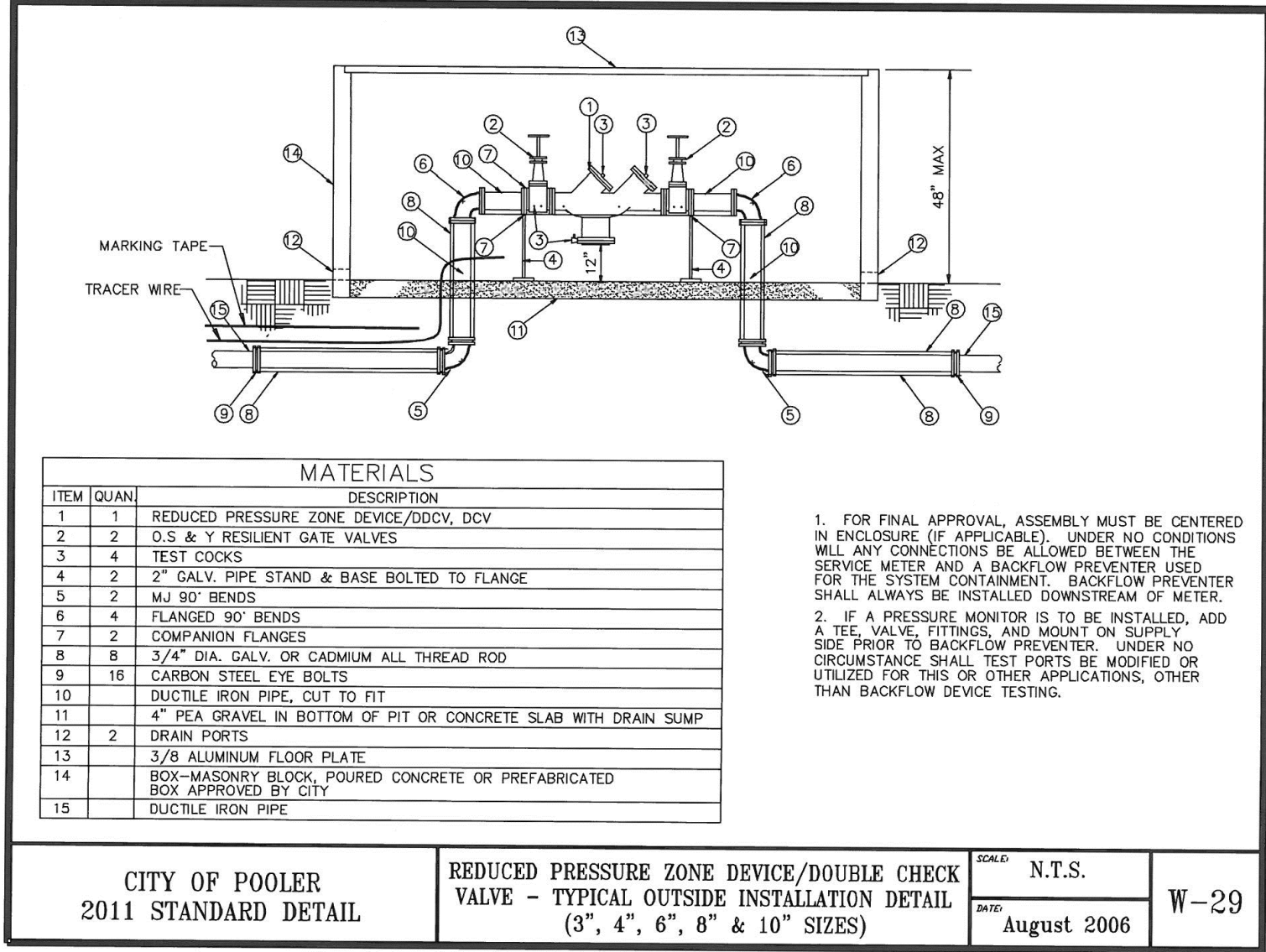
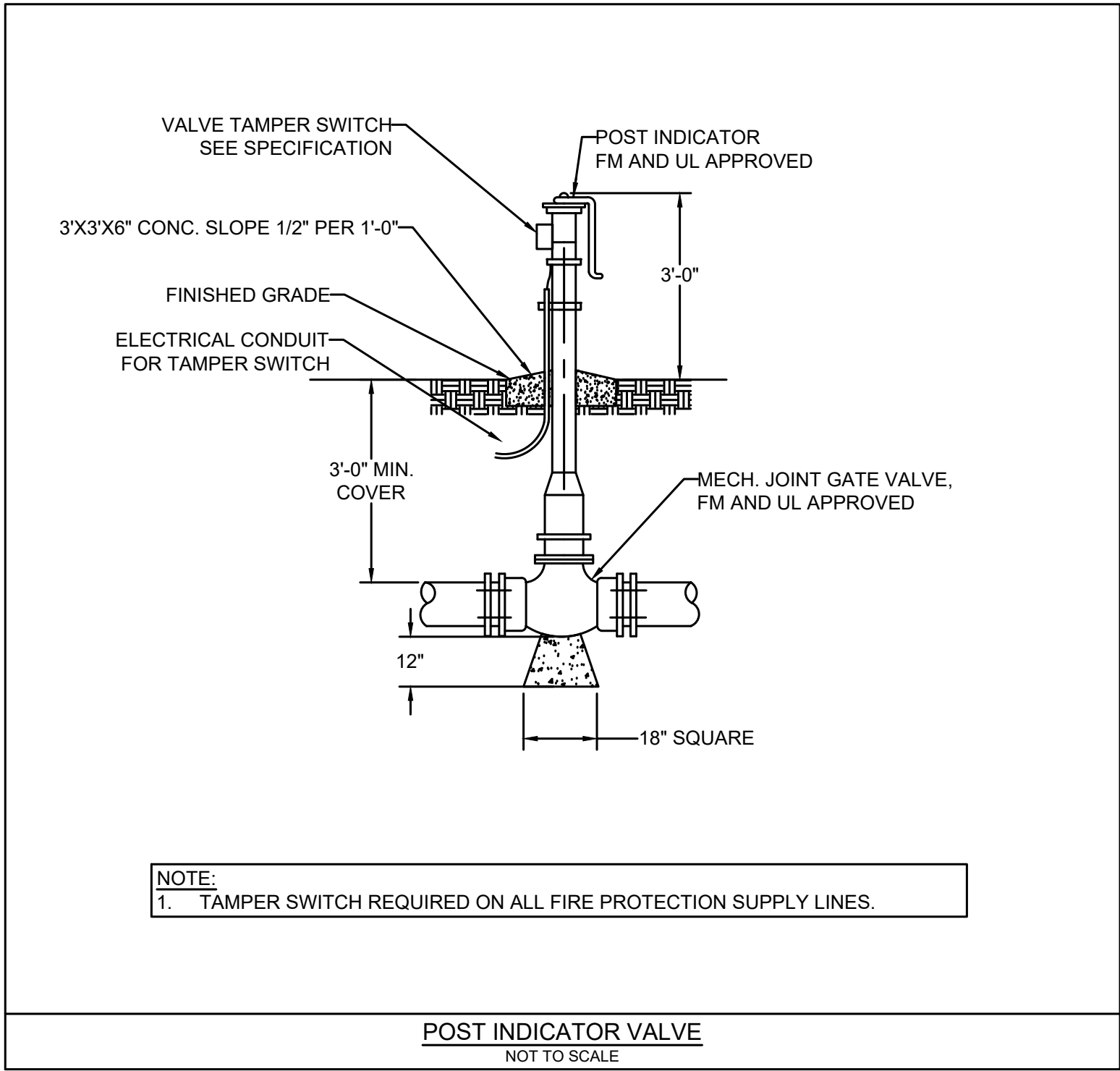
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NO.	REVISION DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER	9/1/2021
2	REVISIONS PER CITY OF POOLER	10/26/2021
3	REVISIONS PER CITY OF POOLER	11/1/2021
4	REVISIONS PER CITY OF POOLER	8/1/2023
5	OWNER REVISIONS	1/24/25
6		
7		
8		

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CIVIL
MARINE
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CONSTRUCTION DETAILS

COMMERCIAL SPACE

780 POOLER PARKWAY

POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:

COMBAT VETERANS, LLC

PROJECT NO.: 20-0130

DRAWN BY: MRK

DESIGNED BY: MRK

SURVEYED BY: BREWER

SURVEY DATE: 2018

CHECKED BY: ABM

SCALE: N/A

DATE: JANUARY 2025

SHEET

18

OF 19